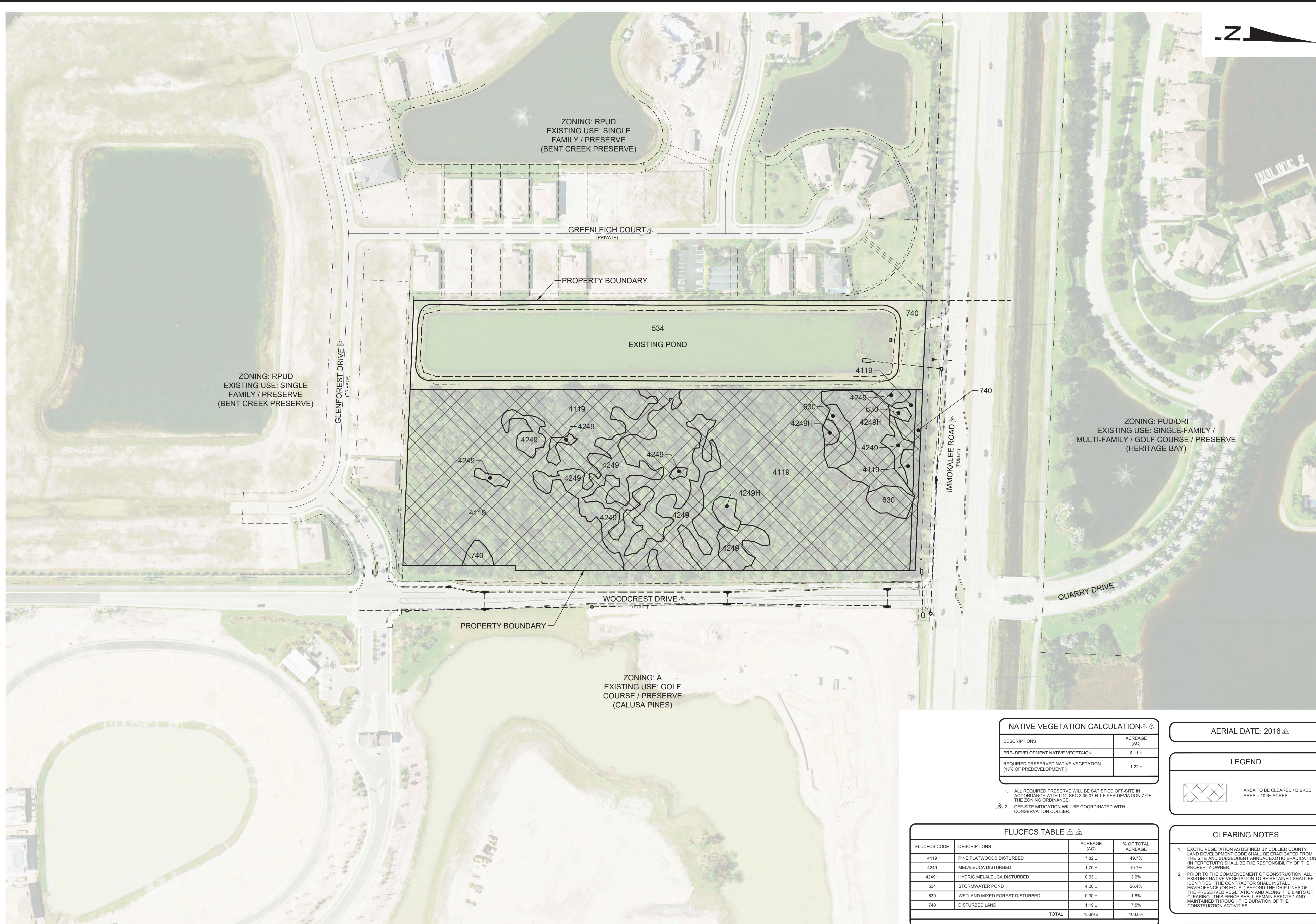


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NATIVE VEGETATION CALCULATION

DESCRIPTIONS	ACREAGE (AC)
PRE-DEVELOPMENT NATIVE VEGETATION	8.11 ±
REQUIRED PRESERVED NATIVE VEGETATION (15% OF PREDEVELOPMENT)	1.22 ±

- ALL REQUIRED PRESERVE WILL BE SATISFIED OFF-SITE IN ACCORDANCE WITH LDC SEC 3.05.07 H.1.F PER DEVIATION 7 OF THE ZONING ORDINANCE.
- OFF-SITE MITIGATION WILL BE COORDINATED WITH CONSERVATION COLLIER.

AERIAL DATE: 2016

LEGEND

	AREA TO BE CLEARED / DISKED AREA = 10.6± ACRES
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FLUCFCS TABLE

FLUCFCS CODE	DESCRIPTIONS	ACREAGE (AC)	% OF TOTAL ACREAGE
4119	PINE FLATWOODS DISTURBED	7.82 ±	49.7%
4249	MELALEUCA DISTURBED	1.70 ±	10.7%
4249H	HYDRIC MELALEUCA DISTURBED	0.63 ±	3.9%
534	STORMWATER POND	4.20 ±	26.4%
630	WETLAND MIXED FOREST DISTURBED	0.30 ±	1.8%
740	DISTURBED LAND	1.19 ±	7.5%
TOTAL		15.89 ±	100.0%

CLEARING NOTES

- EXOTIC VEGETATION AS DEFINED BY COLLIER COUNTY LAND DEVELOPMENT CODE SHALL BE ERADICATED FROM THE SITE AND SUBSEQUENT ANNUAL EXOTIC ERADICATION IN PERPETUITY SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
- PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, ALL EXISTING NATIVE VEGETATION TO BE RETAINED SHALL BE IDENTIFIED. THE CONTRACTOR SHALL INSTALL ENVIRONMENTAL FENCE (OR EQUAL) BEYOND THE DUMP LINES OF THE PRESERVED VEGETATION AND ALONG THE LIMITS OF CLEARING. THIS FENCE SHALL REMAIN ERECTED AND MAINTAINED THROUGHOUT THE DURATION OF THE CONSTRUCTION ACTIVITIES.

VERTICAL ELEVATIONS BASED ON: NAVD-88

WALDROP ENGINEERING

CIVIL ENGINEERING & LAND DEVELOPMENT CONSULTANTS
 25100 BONITA GRANDE DRIVE - SUITE 205 BONITA SPRINGS, FL 34135
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SDP CONSTRUCTION PLANS FOR
RICHMOND PARK
 (F.K.A. ABACO CLUB)
 CLIENT: NEAL COMMUNITIES
 AERIAL MAP AND CLEARING PLAN

PLAN REVISIONS

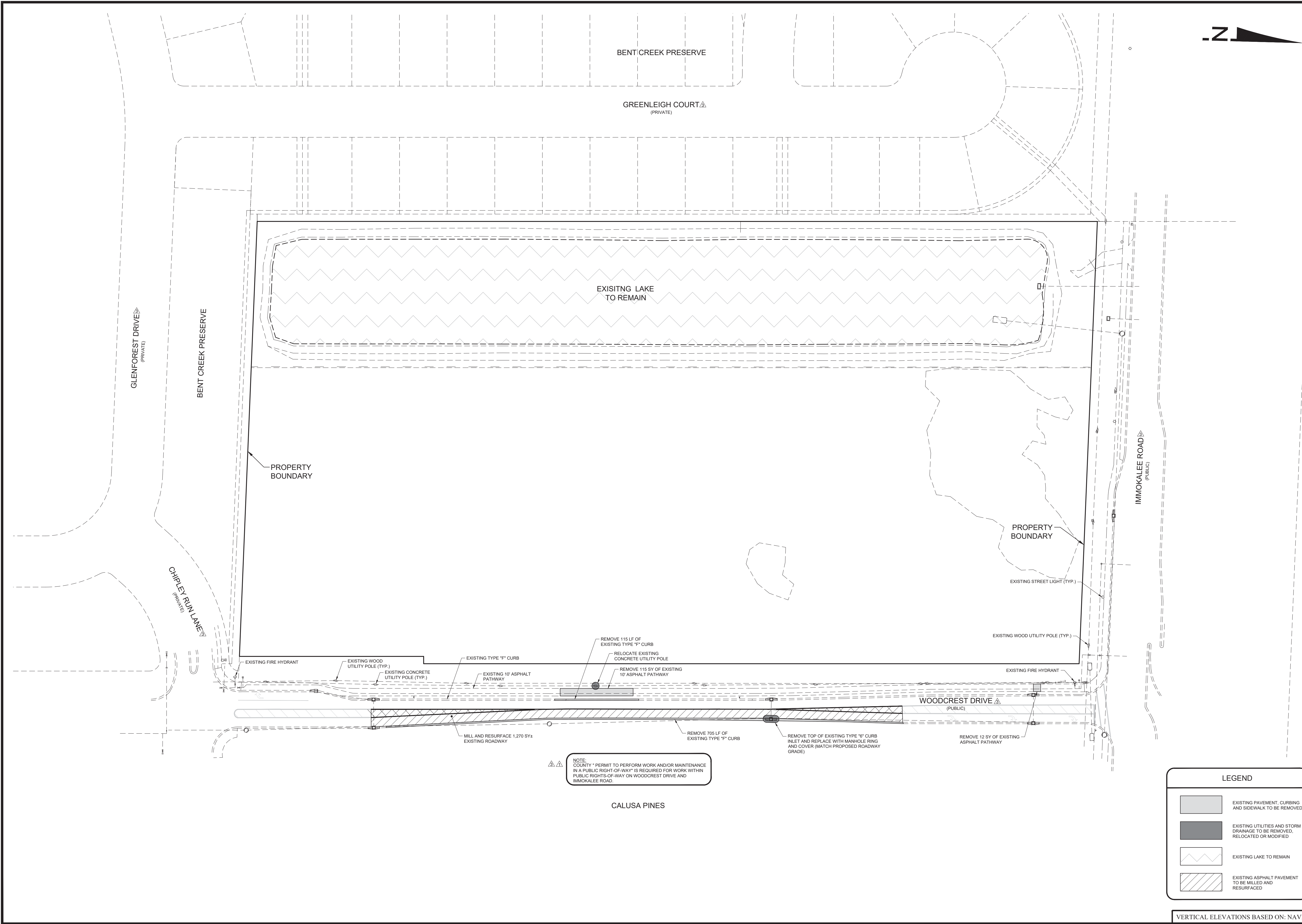
NO.	DATE	DESCRIPTION
05/27/16	REVISED PER AGENCY, CLIENT AND ENGINEER COMMENTS	
06/21/16	REVISED PER SPWMD AND ENGINEER COMMENTS	
07/13/16	REVISED PER CLIENT, COUNTY AND ENGINEER COMMENTS	
08/01/16	REVISED PER SPWMD AND ENGINEER COMMENTS	
08/17/16	REVISED PER COUNTY COMMENTS AND SPWMD	

FLORIDA CERTIFICATE OF AUTHORIZATION #8636





JEREMY H. ARNOLD, P.E.
 FL LICENSE NO. 66421

SET NUMBER: 435-02-01
 SHEET: 2

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LEGEND

-  EXISTING PAVEMENT, CURBING AND SIDEWALK TO BE REMOVED
-  EXISTING UTILITIES AND STORM DRAINAGE TO BE REMOVED, RELOCATED OR MODIFIED
-  EXISTING LAKE TO REMAIN
-  EXISTING ASPHALT PAVEMENT TO BE MILLED AND RESURFACED

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ME

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SDP CONSTRUCTION PLANS FOR
RICHMOND PARK
 (F.K.A. ABACO CLUB)
 CLIENT: NEAL COMMUNITIES
 DEMOLITION PLAN

PLAN REVISIONS

NO.	DATE	DESCRIPTION
05/27/16		REVISED PER AGENCY, CLIENT AND ENGINEER COMMENTS
07/14/16		REVISED PER COUNTY COMMENTS

SCALE IN FEET
 0 30 60 120

FLORIDA CERTIFICATE OF AUTHORIZATION #8636

JEREMY H. ARNOLD, P.E.
 FL LICENSE NO. 66421

SET NUMBER: 435-02-01
 SHEET: 3

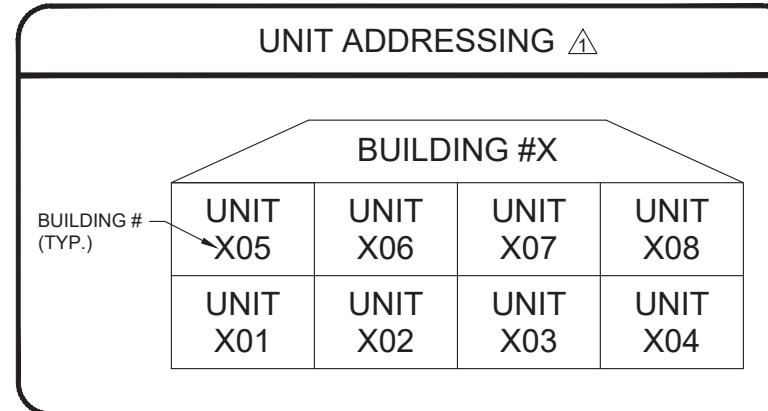
VERTICAL ELEVATIONS BASED ON: NAVD-88

ABACO CLUB RPUD DEVELOPMENT STANDARDS ⁽¹⁾				
PERMITTED USES AND STANDARDS:	MULTI-FAMILY DWELLINGS	RECREATION	PROVIDED (MULTI-FAMILY)	PROVIDED (RECREATION)
MINIMUM LOT AREA	N/A	N/A	N/A	N/A
MINIMUM LOT WIDTH	N/A	N/A	N/A	N/A
MINIMUM LOT DEPTH	N/A	N/A	N/A	N/A
FRONT YARD SETBACK	15' ⁽²⁾	20'	23'	36.6'
SIDE YARD SETBACK	10'	10'	30.2'	38.9'
REAR YARD SETBACK (PRINCIPAL) ⁽³⁾	10' FROM PERIMETER BUFFER OR 0' FROM LME	10' FROM PERIMETER BUFFER OR 0' FROM LME	12.2' FROM PERIMETER BUFFER	18.9' FROM PERIMETER BUFFER
REAR YARD SETBACK (ACCESSORY) ⁽³⁾	0' FROM PERIMETER BUFFER OR LME	0' FROM PERIMETER BUFFER OR LME	12.2' FROM PERIMETER BUFFER	1.0' FROM LME
MIN. DISTANCE BETWEEN PRINCIPAL STRUCTURES	20'	10'	24.2'	94.2'
MAXIMUM HEIGHT (ACTUAL)	45' / 2 STORIES	45'	30' - 7.58'	20' - 4'
MAXIMUM HEIGHT (ZONED)	35' / 2 STORIES	35'	25' - 6"	15' - 5"
MIN. FLOOR AREA PER UNIT	1,000 S.F.	N/A	1,992 S.F.	N/A

- (1) ALL DISTANCES ARE IN FEET UNLESS OTHERWISE NOTED.
- (2) FRONT SETBACK IS MEASURED FROM BACK OF CURB OR EDGE OF PAVEMENT IF NOT CURBED FOR PRIVATE ROADS. THE MINIMUM 15' FRONT SETBACK MAY BE REDUCED TO 10' WHERE THE UNIT HAS A RECESSED OR SIDE ENTRY GARAGE. FRONT LOADING GARAGES SHALL BE A MINIMUM OF 23 FEET FROM THE EDGE OF SIDEWALK FOR PRIVATE ROADS.
- (3) NO STRUCTURES MAY BE LOCATED WITHIN THE COUNTY DRAINAGE EASEMENT SHOWN ON THE PUD MASTER PLAN.

LAND USE SUMMARY		
CATEGORY	ACREAGE	PERCENTAGE OF TOTAL ACREAGE
IMPERVIOUS		
BUILDING	3.02 AC.	19.0%
ROADWAY, PARKINGLOT, SIDEWALK & DRIVEWAYS	2.96 AC.	18.6%
IMPERVIOUS AREA TOTAL	5.98 AC.	37.6%
PERVIOUS		
DRY DETENTION AREA	0.41 AC.	2.6%
OPEN SPACE	5.39 AC.	33.9%
PERVIOUS AREA TOTAL	5.80 AC.	36.5%
LAKES		
OPEN SPACE AREA TOTAL	4.11 AC.	25.9%
OVERALL PROJECT TOTAL	9.91 AC.	62.4%
	15.89 AC.	100.0%

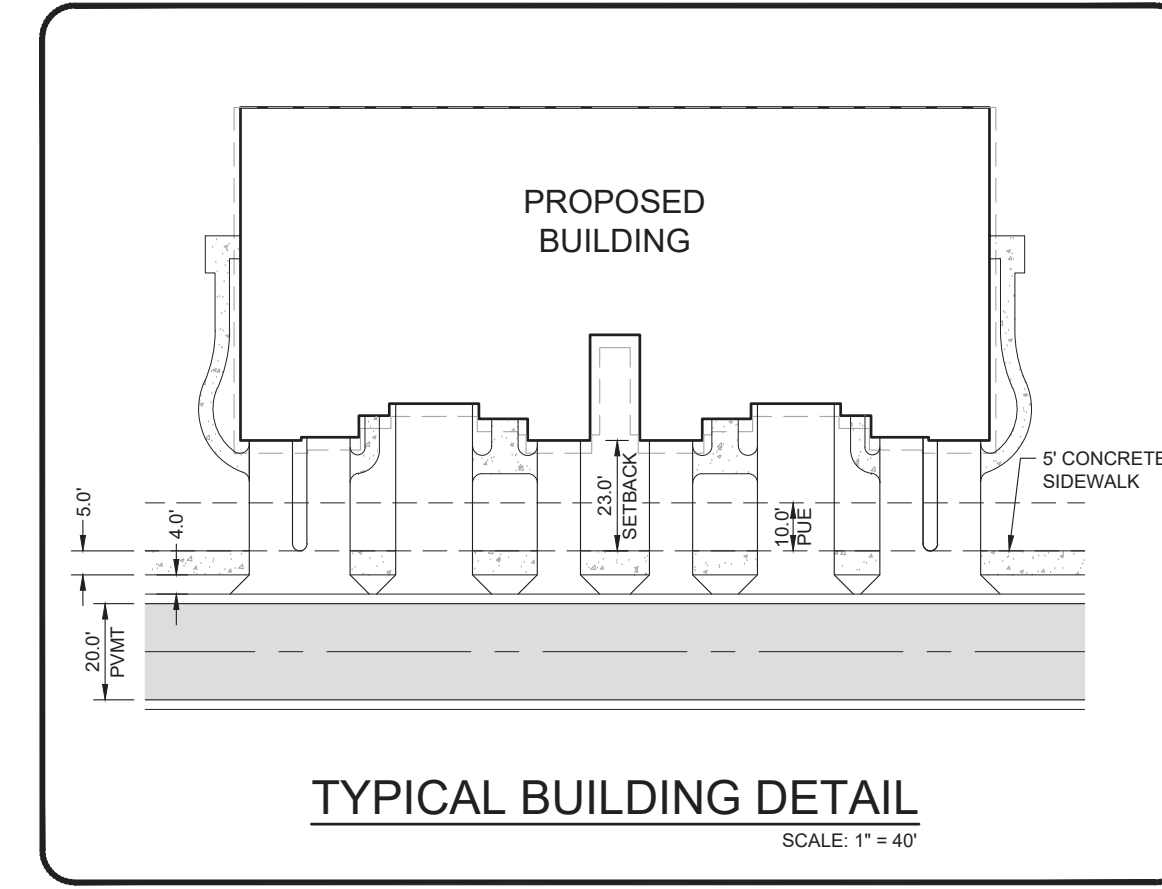
1. OPEN SPACE AREA = PERVIOUS + LAKES (60% MINIMUM)



UNIT SUMMARY	
NUMBER OF 2 BEDROOM UNITS (1,992 SF)	26
NUMBER OF 2 BEDROOM UNITS (2,137 SF)	26
NUMBER OF 2 BEDROOM UNITS (2,325 SF)	26
NUMBER OF 3 BEDROOM UNITS (2,536 SF)	26
TOTAL NUMBER OF UNITS	104
DENSITY	6.54 UNITS / ACRE

PARKING CALCULATIONS			
TYPE OF USE	REQUIRED RATIO	SPACES REQUIRED	SPACES PROVIDED
MULTI-FAMILY DWELLINGS (2+ BEDROOMS)	2 PER UNIT (1 RESIDENT + 1 GUEST) (104 UNITS)	208	260
*AMENITY	<ul style="list-style-type: none"> BUILDING 1200 S.F. (1,600 S.F.) = 8 SPACES POOL/SPA 175 SF OF WATER AREA FOR FIRST 1,000 SF AND 1125 SF FOR EACH ADDITIONAL 1,000 SF OF WATER (1,200 SF POOL/SPA AREA) = 15 SPACES (8 + 15) (25%) = 6 SPACES REQUIRED 	6	24
TOTALS		214	284

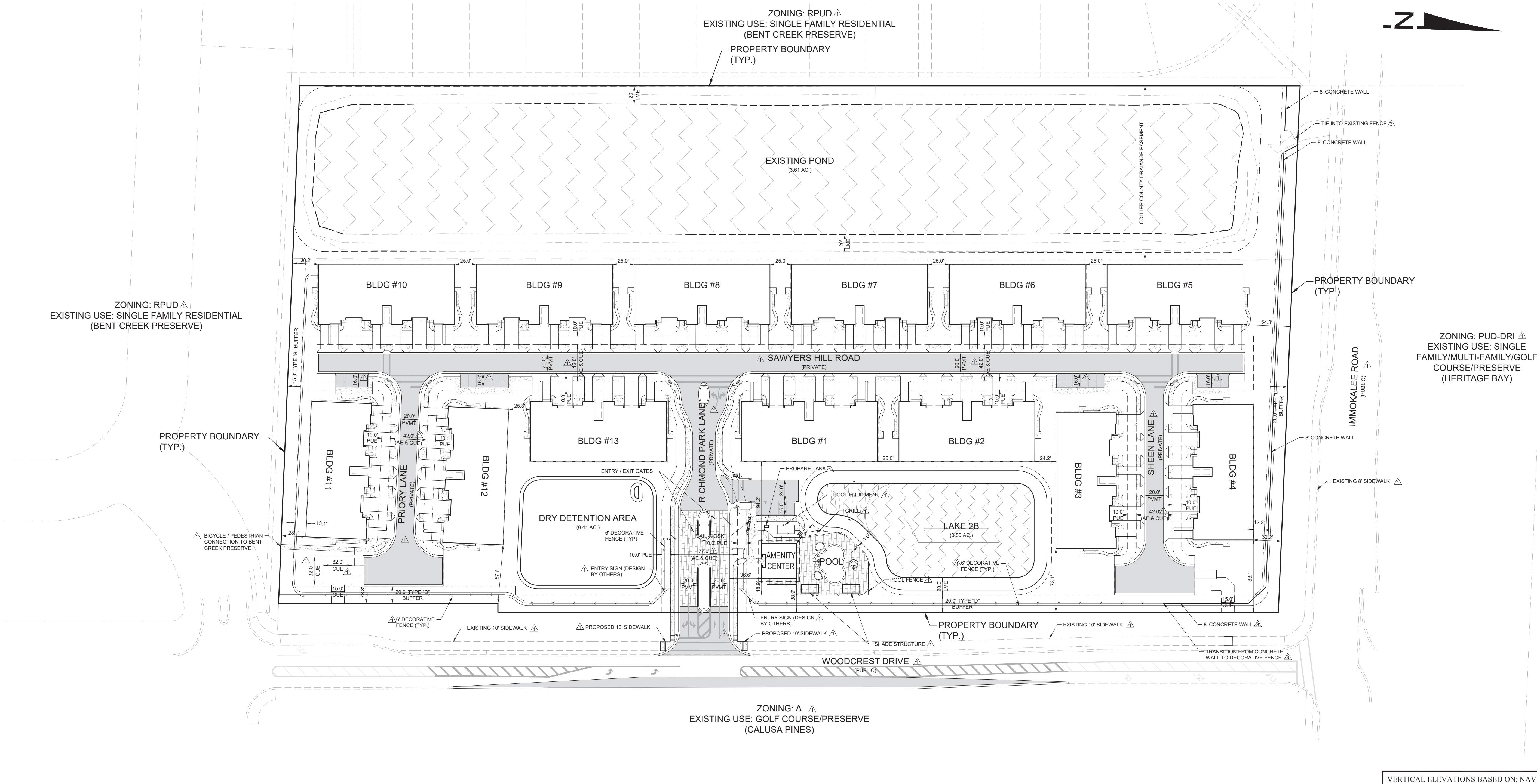
1. EACH MULTI-FAMILY BUILDING IS TO PROVIDE A TOTAL OF 10 GARAGE PARKING SPACES (8 1-CAR GARAGE SPACES AND 2 2-CAR GARAGE SPACE)
2. PROVIDED PARKING CALCULATION INCLUDES AND EQUIVALENT NUMBER OF DRIVEWAY PARKING SPACES PER GARAGE PARKING SPACE
3. 1 HANDICAP PARKING SPACE PROVIDED AT AMENITY CENTER
4. * PARKING RATIO PER PUD DEVIATION #1
5. AMENITY PARKING TO BE PROVIDED IN ALL OFF-STREET PARKING AREAS.



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SDP CONSTRUCTION PLANS FOR

RICHMOND PARK
 (F.K.A. ABACO CLUB)
 CLIENT: NEAL COMMUNITIES

ZONING DATA SHEET

PLAN REVISIONS	REVISED PER AGENCY, CLIENT AND ENGINEER COMMENTS
REV00 - SUBMITTED (R00 SET) - XXXXXX	
05/27/16	REVISED PER AGENCY, CLIENT AND ENGINEER COMMENTS
06/21/16	REVISED PER AGENCY, CLIENT AND ENGINEER COMMENTS
07/13/16	REVISED PER CLIENT, COUNTY AND ENGINEER COMMENTS

SCALE IN FEET: 0 30 60 120

FLORIDA CERTIFICATE OF AUTHORIZATION #8636

JEREMY H. ARNOLD, P.E.
 FL LICENSE NO. 66421

SET NUMBER: 435-02-01 SHEET: 4

WATER, IRRIGATION & SEWER NOTES

- CONTRACTOR TO VERIFY SIZE AND LOCATION OF EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
- WATER AND SEWER UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE COLLIER COUNTY UTILITY ORDINANCE 2004-31, AS AMENDED AND THE COLLIER COUNTY WATER-SEWER DISTRICT UTILITIES STANDARDS MANUAL AS AMENDED.
- FITTINGS SHALL BE USED TO MAINTAIN PLAN ALIGNMENT OF ALL MAINS. DEVIATION FROM PLAN ALIGNMENT SHALL NOT BE MORE THAN 12" FROM PLAN CENTERLINE OF MAIN.
- MINIMUM COVER FOR ALL UTILITIES SHALL BE MEASURED FROM FINISHED GRADES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INSURE MINIMUM COVER, REGARDLESS OF GRADE.
- ALL POTABLE WATER MAINS SHALL BE SEPARATED FROM SANITARY SEWER AND STORM SEWER BY A MINIMUM HORIZONTAL DISTANCE OF TEN FEET (10') MEASURED EDGE TO EDGE AND A VERTICAL DISTANCE OF EIGHTEEN INCHES (18") MEASURED BETWEEN THE BOTTOM OF THE UPPER PIPE AND THE TOP OF THE LOWER PIPE, WHERE MINIMUM SEPARATION CANNOT BE MAINTAINED, SEE CROSSOVER DETAIL REQUIREMENTS IN THE STANDARD DETAIL SHEETS.
- ALL IRRIGATION WATER MAINS SHALL BE SEPARATED FROM WATER MAINS, WASTEWATER AND STORM WATER LINES BY A MINIMUM HORIZONTAL DISTANCE OF FIVE FEET (5') MEASURED EDGE TO EDGE AND A VERTICAL DISTANCE OF EIGHTEEN INCHES (18") BETWEEN THE BOTTOM OF THE UPPER PIPE AND THE TOP OF THE LOWER PIPE, WHERE MINIMUM SEPARATION CANNOT BE MAINTAINED, SEE CROSSOVER DETAIL REQUIREMENTS IN THE STANDARD DETAIL SHEETS.
- ALL OTHER UTILITY CONDUITS MUST BE SEPARATED FROM WATER AND SEWER IMPROVEMENTS BY A MINIMUM OF EIGHTEEN INCHES (18") VERTICAL AND FIVE FEET (5') HORIZONTAL CLEARANCE.
- ALL POTABLE WATER MAINS SHALL BE OWNED AND MAINTAINED BY COLLIER COUNTY UTILITIES UP TO AND INCLUDING THE METER ASSEMBLY AND PRIVATELY OWNED AND MAINTAINED AFTER METER ASSEMBLY.
- ALL SANITARY SEWER LINES, LATERALS AND MANHOLES AND PUMP STATION SHALL BE OWNED AND MAINTAINED BY COLLIER COUNTY UTILITIES. A COLLIER COUNTY UTILITIES EASEMENT (CUE) SHALL BE PROVIDED OVER ALL COLLIER COUNTY UTILITIES INFRASTRUCTURE.
- IRRIGATION DISTRIBUTION SYSTEM SHALL BE OWNED & MAINTAINED BY THE PROPERTY OWNER.
- CONTRACTOR SHALL CONSTRUCT ALL WATER AND SEWER APPURTENANCES INCLUDING METER BOXES, SERVICE LEADS, BLOW-OFFS, VALVE BOXES, AIR RELEASE VALVES, FIRE HYDRANTS, ETC. TO FINISHED GRADE. CONTRACTOR SHALL COORDINATE DURING THE CONSTRUCTION STAKEOUT AND PRIOR TO CONSTRUCTION OF SAID APPURTENANCES WITH OWNER AND ENGINEER REGARDING FINISHED GRADE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INSURE CONSTRUCTION OF SAID APPURTENANCES TO FINISHED GRADE.
- ALL WATER & IRRIGATION SERVICES SHALL BE CONSTRUCTED WITH A CASING THAT EXTENDS 5 FEET BEYOND THE BACK OF CURB. MAGNETIC MARKERS ARE REQUIRED AT EACH END OF THE CASING, CASING SHALL BE 4" MINIMUM.
- ALL PRESSURE MAINS SHALL BE AWWA C900, CLASS 150 PVC, UNLESS NOTED OTHERWISE. ALL WATER AND IRRIGATION MAINS UNDER PAVEMENT AND AT CONFLICT CROSSINGS SHALL BE AWWA C900, CLASS 200 PVC PIPE.
- THE WATER METER SHALL BE SIZED BY THE ENGINEER OF RECORD APPROVED BY COLLIER COUNTY PUBLIC UTILITIES. WATER METERS 2" AND SMALLER SHALL BE INSTALLED BY PUBLIC UTILITIES. WATER METERS 3" AND LARGER SHALL BE INSTALLED BY THE CONTRACTOR.
- SANITARY SEWER MAINS AND LATERALS SHALL BE ASTM D-3034 SDR 26. PRESSURE MAINS SHALL BE DR-18, UNLESS NOTED OTHERWISE. ALL FORCE MAINS UNDER PAVEMENT AND AT CONFLICT CROSSINGS SHALL BE DR-14 PIPE.
- ALL COLD-WATER METERS-DISPLACEMENT TYPE, BRONZE MAIN CASE, SIZE 1/2 INCH THROUGHOUT 2 INCH SHALL MEET THE REQUIREMENTS OF AWWA C700.
- THE CONTRACTOR SHALL PROVIDE 72 HOURS WRITTEN NOTICE TO THE ENGINEER AND COLLIER COUNTY PRIOR TO THE FOLLOWING (AS APPLICABLE):
 - HOT TAPS TO POTABLE WATER LINES AND WASTEWATER SYSTEMS*
 - MASTER METER AND BYPASS PIPING.
 - JACK AND BORE CASINGS*
 - PRESSURE TESTS*
 - INFILTRATION/EXFILTRATION*
 - LIFT STATION INSTALLATION, PRIOR TO COVER UP AND START-UP*
 - LIFT STATION START-UP*
 - LAMPING OF SEWER LINES*
 - PIGGING AND FLUSHING OF WASTEWATER LINES, FORCE MAINS, POTABLE WATER MAINS AND NON-POTABLE IRRIGATION LINES* (NOTE: FULL BORE FLUSHING AND PIGGING OF POTABLE WATER LINES NEED ONLY WATER DEPARTMENT INSPECTION.)
 - TELEVISION VIDEO TAPPING OF WASTEWATER LINES AT END OF CONSTRUCTION AND THE WARRANTY PERIOD ("IN OFFICE REVIEW")
 - CONFLICT CONSTRUCTION*
 - CONNECTIONS TO EXISTING POTABLE WATER, NON-POTABLE IRRIGATION WATER AND WASTEWATER SYSTEMS*
 - CASING INSTALLATIONS*
 - OTHER SPECIAL REQUIREMENTS AS SPECIFIED BY THE COUNTY STAFF AT THE TIME OF CONSTRUCTION DOCUMENT APPROVAL.
 - CHLORINATION OF WATER LINES AND REFRESHING OF LINE AFTER CHLORINATION (NEEDS ONLY WATER DEPARTMENT INSPECTION ONLY)*
 - INSTALLATION OF TEMPORARY METERS/BACKFLOWS*
 - BACTERIOLOGICAL SAMPLING*
 - HOT TAPS TO ANY WATER CONCRETE MAINS, PRESSURE TESTS ON LINES 20" AND GREATER, AND CONNECTIONS TO EXISTING POTABLE SYSTEMS GREATER THAN 12" NEED TO BE INSPECTED BY THE WATER DEPARTMENT AND CDES.*
 - FIRE FLOW TESTING
- *AN INSPECTOR ON BEHALF OF THE COUNTY OR OTHER QUALIFIED EMPLOYEE OF THE COUNTY MUST BE PRESENT DURING INSPECTIONS MARKED WITH AN ASTERISK.
- ALL WATER METER COMPONENTS THAT COME INTO CONTACT WITH DRINKING WATER SHALL CONFORM WITH NSF STANDARD 61.
- AT WATER MAIN TERMINATION POINTS, A TEMPORARY BLOW-OFF SHALL BE INSTALLED TO PROVIDE FOR FULL BORE FLUSHING. FOLLOWING WATER MAIN CLEARANCE, THE TEMPORARY BLOW-OFF SHALL BE REPLACED WITH A COLLIER COUNTY APPROVED AUTOMATIC FLUSHING DEVICE PER ORDINANCE 2004-31.
- REFERENCE IRRIGATION SYSTEM DESIGN AND SPECIFICATIONS LOCATED IN THE LANDSCAPE AND IRRIGATION PLANS.
- CONTRACTOR TO COORDINATE IRRIGATION CONDUIT LOCATIONS WITH IRRIGATION CONTRACTOR.
- A SEPARATE PERMIT IS REQUIRED PRIOR TO INSTALLATION OF ANY FIRE LINE.
- INSTALLATION OF ALL UNDERGROUND FIRE LINES SHALL COMPLY WITH THE 2007 EDITION OF NFPA 24, PER NFPA 24 (2007 ED.), SECTION 10.4.4. UNDERGROUND FIRE LINE PIPING UNDER DRIVEWAYS SHALL BE BURIED AT A MINIMUM DEPTH OF 36 INCHES.
- UNDERGROUND FIRE LINES SHALL BE INSTALLED BY AN APPROPRIATELY CERTIFIED FIRE SPRINKLER CONTRACTOR OR A TYPE V UNDERGROUND CONTRACTOR AS DEFINED AND OUTLINED IN 633.021, 633.521 AND 633.539 F.S.
- TOTAL 8" PVC SANITARY SEWER IS 1,634 LF AT 0.40% MIN. SLOPE, W/ 9 MANHOLES.
- TOTAL 4" HDPE FORCE MAIN IS 162 LF, TOTAL 4" HDPE FORCE MAIN IS 90 LF.
- TOTAL 10" PVC WATER MAIN IS 1,114 LF, TOTAL 8" PVC WATER MAIN IS 527 LF, TOTAL 6" PVC WATER MAIN IS 65 LF.
- CONTRACTOR TO COORDINATE SANITARY SEWER CONNECTIONS WITH COLLIER COUNTY UTILITIES TO ENSURE SEWER SERVICE REMAINS UNINTERRUPTED.
- ALL COSTS AND EXPENSES OF ANY AND ALL REPAIRS, REPLACEMENTS, MAINTENANCE AND RESTORATIONS OF ABOVE GROUND IMPROVEMENTS PERMITTED WITHIN A CUE SHALL BE THE SOLE FINANCIAL RESPONSIBILITY OF THE GRANTEE, ITS SUCCESSORS OR ASSIGNS.

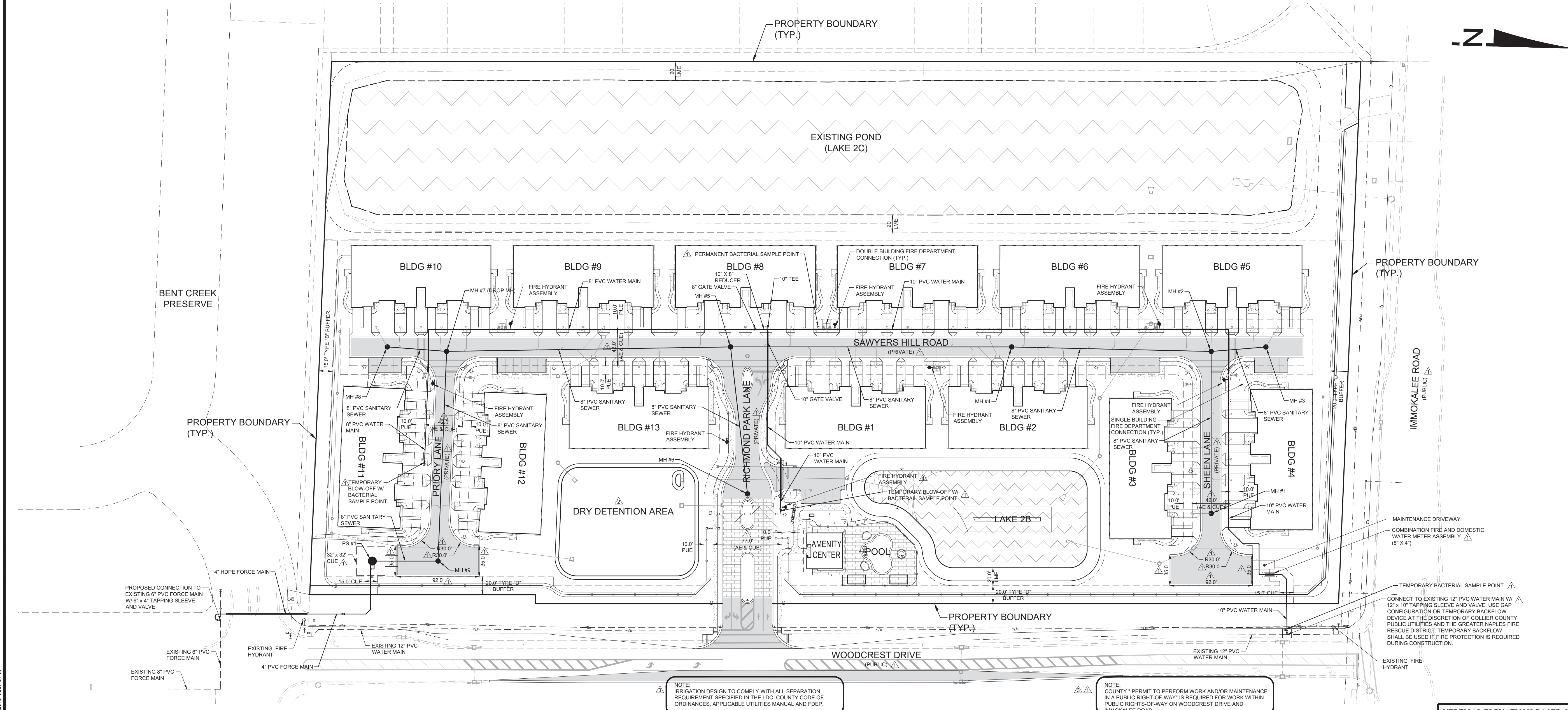
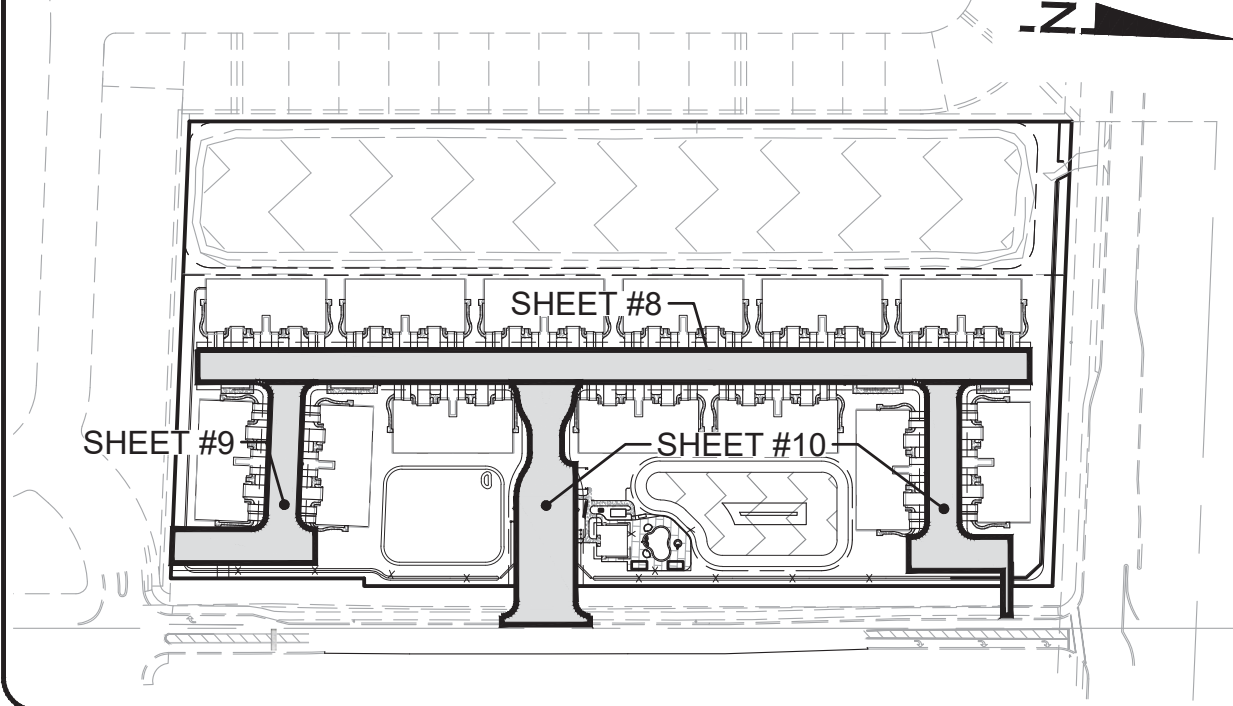
GENERAL NOTES

- ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM (NAVD 88). NAVD 88 = NGVD 29 - 1.24.
- THE LOCATIONS OF EXISTING UTILITIES/INFRASTRUCTURE HAVE BEEN PREPARED FROM RECORD DRAWING AND FIELD INFORMATION. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXACT LOCATIONS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- COLLIER COUNTY, FLORIDA POWER AND LIGHT, TELEPHONE, AND CATV MAY HAVE EXISTING UTILITIES ADJACENT TO THE PROPOSED IMPROVEMENTS. CONTRACTOR SHALL CONTACT THE RESPECTIVE UTILITIES TO LOCATE THEIR FACILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. ANY DEVIATION FROM PLAN INFORMATION SHALL BE REPORTED TO ENGINEER IMMEDIATELY.
- CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND ADHERING TO A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT FROM THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP). CONTRACTOR SHALL CREATE, IMPLEMENT, AND MAINTAIN A STORM WATER POLLUTION PREVENTION PLAN AS REQUIRED BY THE NPDES GENERAL PERMIT.
- UNDERGROUND CONTRACTOR SHALL MINIMIZE THE WORK AREA AND WIDTH OF TRENCHES TO AVOID DISTURBING NATURAL VEGETATION MATERIAL REMOVED FROM THE TRENCHES SHALL BE PLACED ONLY ON PREVIOUSLY CLEARED AREAS OR AS DIRECTED BY THE OWNER.
- ALL MATERIALS AND CONSTRUCTION METHODS USED FOR WATER, SEWER, AND DRAINAGE FACILITIES SHALL CONFORM TO THE APPROVED TECHNICAL SPECIFICATIONS.
- THE CONTRACTOR SHALL PREPARE AN AS-BUILT PLAN SET PER COLLIER COUNTY STANDARDS, INDICATING ANY DIFFERENCES FROM THE ACTUAL CONSTRUCTED IMPROVEMENTS AND THE ORIGINAL CONSTRUCTION PLANS. THE AS-BUILT PLAN SHALL BE SURVEY CERTIFIED FOR ALL IMPROVEMENTS BY A FLORIDA REGISTERED PROFESSIONAL LAND SURVEYOR.
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE PROJECT'S TECHNICAL SPECIFICATIONS, FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION, AND THE COLLIER COUNTY STANDARDS. CONTRACTOR IS REQUIRED TO OBTAIN FROM THE ENGINEER WRITTEN APPROVAL FOR ANY DEVIATIONS FROM THE PLANS AND/OR SPECIFICATIONS.
- THE PROPERTY OWNER IS RESPONSIBLE FOR REPLACEMENT OF ALL DEAD LANDSCAPE MATERIAL AND FOR THE MAINTENANCE OF THE REQUIRED IRRIGATION SYSTEM.
- THE PROPERTY OWNER IS RESPONSIBLE FOR THE PERPETUAL MAINTENANCE OF ALL FEATURES OF THE SURFACE WATER MANAGEMENT SYSTEM AS OUTLINED BY THE DESIGN ENGINEER ON THESE DRAWINGS.
- ALL UNDER GROUND UTILITIES LOCATED BENEATH THE STABILIZED PORTION OF THE ROAD BED SHALL BE INSTALLED PRIOR TO COMPACTION OF THE SUBGRADE.
- THE CONTRACTOR SHALL RETAIN ON THE WORK SITE AT ALL TIMES COPIES OF ALL PERMITS NECESSARY FOR CONSTRUCTION.
- IF DEWATERING ACTIVITIES ARE REQUIRED FOR PROPER UTILITY INSTALLATION THEN THE CONTRACTOR IS RESPONSIBLE TO ENSURE COMPLIANCE WITH REQUIRED PERMITS, AND SHALL DETERMINER IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL PERMITS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING TRAFFIC AND USAGE OF THE EXISTING STREETS ADJACENT TO THE PROJECT. ALL TRAFFIC MAINTENANCE CONTROL SHALL BE IN ACCORDANCE WITH FLORIDA MANUAL OF TRAFFIC CONTROL AND SAFE PRACTICES FOR STREET CONSTRUCTION, MAINTENANCE, AND UTILITY OPERATIONS.
- SOLID WASTE DISPOSAL AND RECYCLING TO BE PROVIDED VIA CURB SIDE PICK-UP.
- PRIOR TO THE ACCUMULATION OF COMBUSTIBLE BUILDING MATERIALS ON SITE, PROPOSED FIRE HYDRANTS MUST BE OPERABLE AND BE ABLE TO PROVIDE THE MINIMUM REQUIRED FIRE FLOWS, AND IMPROVED STABILIZED EMERGENCY APPARATUS ACCESS WAYS (MIN. 20-FOOT WIDE) MUST BE AVAILABLE TO WITHIN 100 FEET OF STRUCTURES.
- OPTIONAL BRICK PAVERS MAY BE INSTALLED IN LIEU OF ASPHALT PAVEMENT AT THE DISCRETION OF THE OWNER. SEE TYPICAL SECTIONS AND DETAILS FOR PAVEMENT SECTIONS.
- THE APPROVAL OF THESE CONSTRUCTION PLANS DOES NOT AUTHORIZE CONSTRUCTION OF REQUIRED IMPROVEMENTS WHICH ARE INCONSISTENT WITH EASEMENT OF RECORD.
- ALL PROHIBITED EXOTIC VEGETATION SHALL BE REMOVED FROM THE SITE AND IT SHALL BE MAINTAINED FREE OF EXOTICS IN PERPETUITY.
- THE PROPERTY OWNER IS RESPONSIBLE FOR THE PERPETUAL MAINTENANCE OF ALL COMMON AREAS, OPEN SPACE, PRIVATE STREETS AND EASEMENTS LOCATED AS SHOWN.

UTILITIES PROVIDING SERVICE

POTABLE WATER AND SANITARY SEWER: COLLIER COUNTY UTILITIES 301 EAST TAMMAM TRAIL, BLDG H NAPLES, FLORIDA 34112 PHONE (239) 732-2589	CABLE TELEVISION: COMCAST CABLE COMMUNICATIONS, INC. COMMERCIAL DEVELOPMENT 2811 MICHIGAN AVENUE FORT MYERS, FLORIDA 33919 PHONE (239) 452-1859	ELECTRIC: FLORIDA POWER AND LIGHT COMPANY 4108 15TH AVENUE SW NAPLES, FLORIDA 34116 PHONE (239) 353-0020
TELEPHONE: CENTURY LINK, INC. P.O. BOX 2409 NAPLES, FLORIDA 34108-2409 PHONE (800) 339-1811	FIRE CONTROL DISTRICT: GREATER NAPLES FIRE RESCUE DISTRICT 14575 COLLIER BOULEVARD NAPLES, FL 34119 (239) 348-7546	GAS: TECO PEOPLES GAS 5801 ENTERPRISE PARKWAY FORT MYERS, FL 33905 1-877-832-6747
UTILITY LOCATING SERVICE: SUNSHINE STATE ONE CALL CENTER PHONE (800) 432-4770 MINIMUM 48-HOURS NOTICE REQUIRED.		

PLAN AND PROFILE KEY MAP



WALDROP ENGINEERING
CIVIL ENGINEERING & LAND DEVELOPMENT CONSULTANTS
25100 BONITA GRANDE DRIVE - SUITE 205 BONITA SPRINGS, FL 34135
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SDP CONSTRUCTION PLANS FOR
RICHMOND PARK
(F.K.A. ABACO CLUB)
CLIENT: NEAL COMMUNITIES
MASTER UTILITY PLAN

PLAN REVISIONS

REV 01	05/27/16	REVISED PER AGENCY, CLIENT AND ENGINEER COMMENTS
REV 02	06/21/16	REVISED PER SFWD AND ENGINEER COMMENTS
REV 03	07/13/16	REVISED PER CLIENT, COUNTY AND ENGINEER COMMENTS

FLORIDA CERTIFICATE OF AUTHORIZATION #8636

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SET NUMBER: 435-02-01

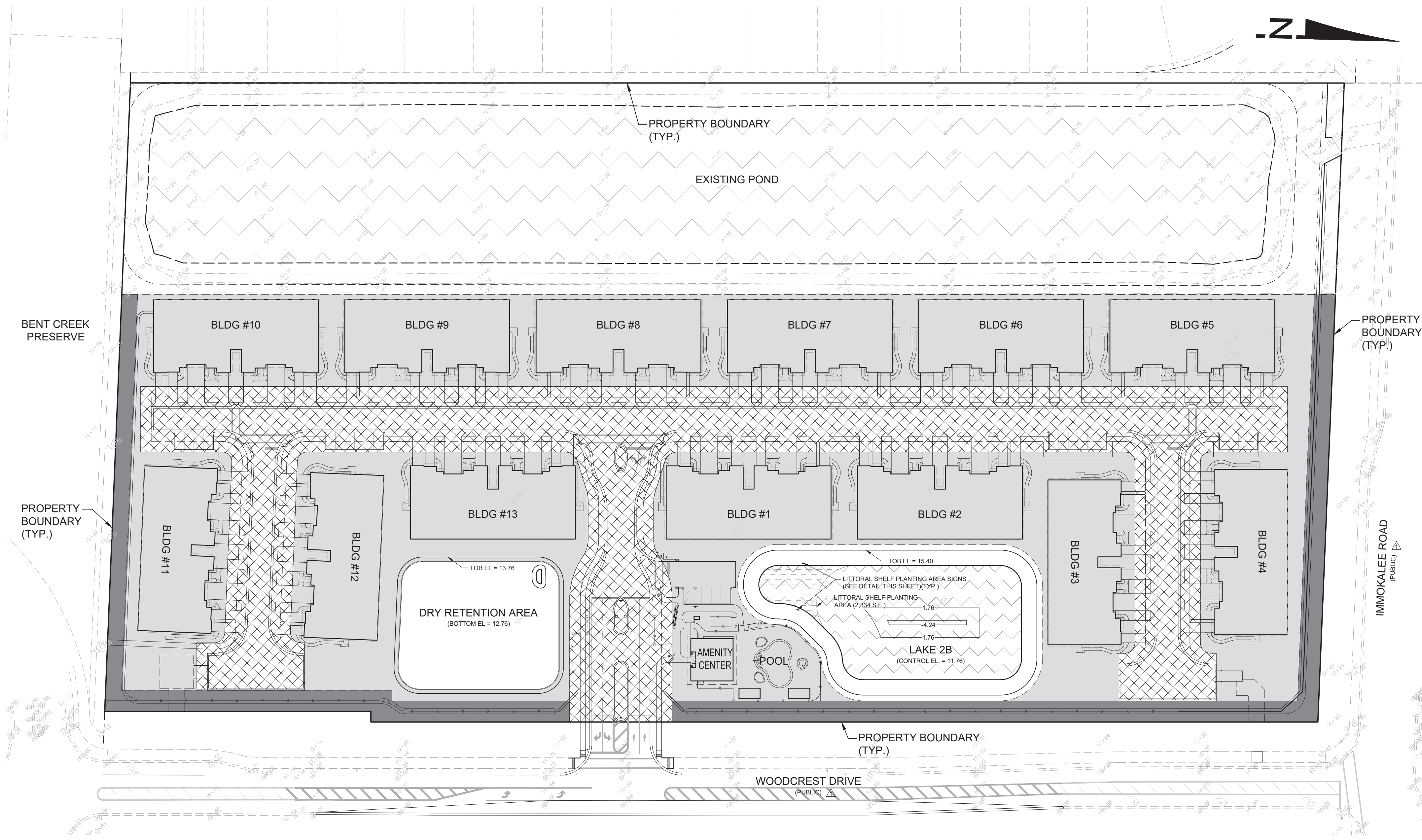
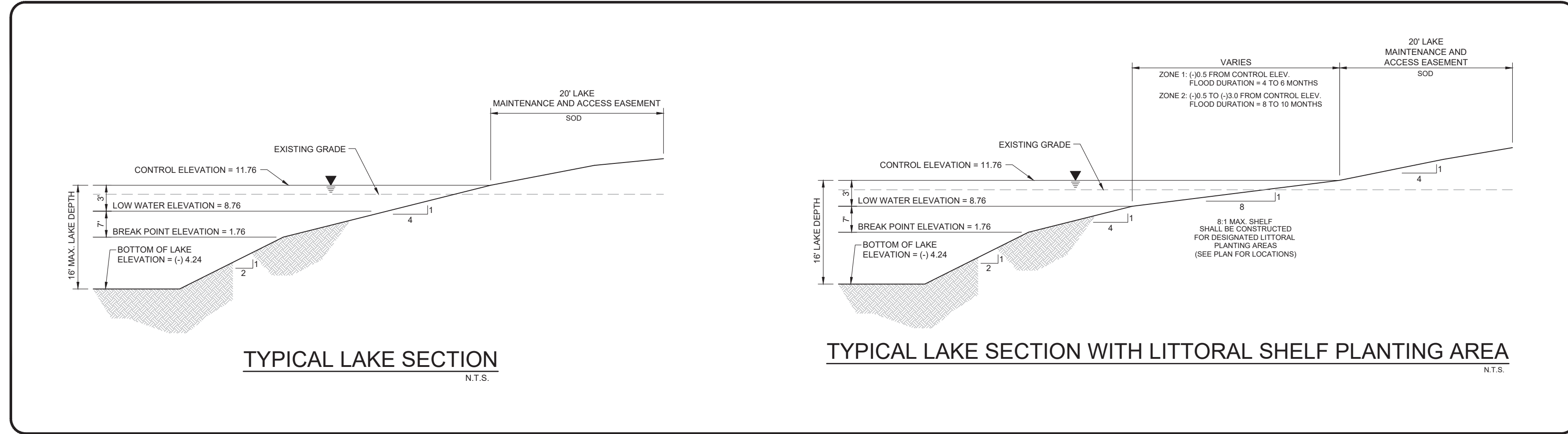
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LAKE	CONTROL ELEVATION	EXISTING GRADE (2)	SURFACE AREA AT CONTROL	SURFACE AREA AT EXISTING GRADE	LOW WATER ELEVATION	BREAK POINT ELEVATION	BOTTOM ELEVATION	PROPOSED LAKE EXCAVATION VOLUME AT 18" DEPTH FROM EXISTING GRADE (1)(2)
2B	11.76	11.76	0.50 AC	0.50 AC	8.76	1.76	-4.24	4,300 CY
TOTAL			0.50 AC	0.50 AC				4,300 CY

(1) VOLUME CALCULATION INCLUDES NO LOSS FACTOR.
 (2) EXISTING GRADE ASSUMED AFTER GRUBBING LOSS.

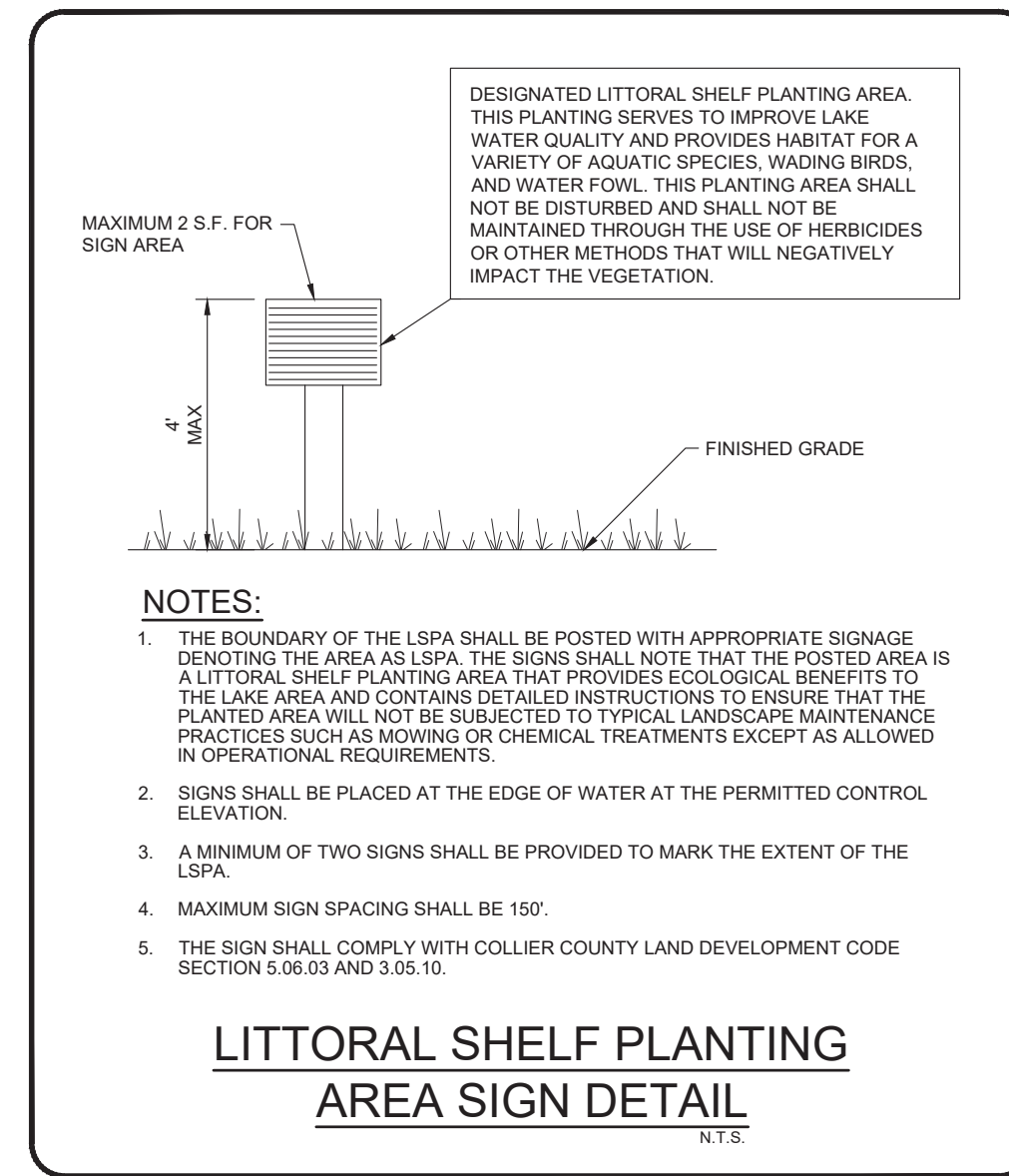
HATCH LEGEND	AREA DESCRIPTION
[Hatched Pattern]	PROPOSED RESIDENTIAL & AMENITY AREAS TO BE FILLED FOR CONSTRUCTION ACTIVITIES (LOTS FILLED TO PRIOR TO HOME CONSTRUCTION ELEVATION)
[Cross-hatched Pattern]	PROPOSED INFRASTRUCTURE FILL AREA R.O.W. AND EASEMENT AREAS TO BE FILLED FOR CONSTRUCTION OF INFRASTRUCTURE TO SERVE THE PROJECT
[Solid Grey]	PROPOSED BERM AREA AREAS TO BE FILLED FOR LANDSCAPE BERM



LAKE	CONTROL ELEVATION	SURFACE AREA AT CONTROL	LITTORAL PLANTING AREA REQUIRED	TOTAL PLANTING AREA PROVIDED
2B	11.76	0.50 AC 21,780 S.F.	1,524 S.F.	2,334 S.F.
TOTALS			1,524 S.F.	2,334 S.F.

- REQUIRED LITTORAL PLANTING AREA IS 7% OF THE TOTAL LAKE SURFACE AREA AT CONTROL ELEVATION.
- DUE TO CONVERTING (ACRES TO FEET / FEET TO ACRES) AREAS ARE ROUNDED TO APPROXIMATE NUMBERS.

ZONE 1 SPECIES (CONTROL - 0.5' DEPTH)
HERBACEOUS SPECIES
CORDGRASS (<i>Spartina bakeri</i>)
SWAMP LILY (<i>Crinum americanum</i>)
TREE AND SHRUB SPECIES
CYPRESS (<i>Taxodium distichum</i>)
RED MAPLE (<i>Acer rubrum</i>)
ZONE 2 SPECIES (0.5 - 3.0' DEPTH)
HERBACEOUS SPECIES
ARROWHEADS (<i>Sagittaria</i> sp.)
PICKERELWEED (<i>Pontederia cordata</i>)
SPIKE RUSH (<i>Eleocharis</i> spp.)



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SDP CONSTRUCTION PLANS FOR

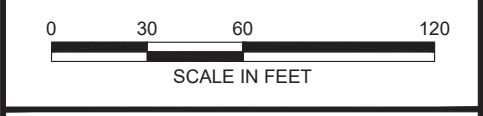
RICHMOND PARK

(F.K.A. ABACO CLUB)

CLIENT: NEAL COMMUNITIES

LSPA AND LAKE EXCAVATION PLAN

NO.	DATE	REVISION
1	05/27/16	REVISED PER AGENCY CLIENT AND ENGINEER COMMENTS
2	06/21/16	REVISED PER SWM/D AND ENGINEER COMMENTS



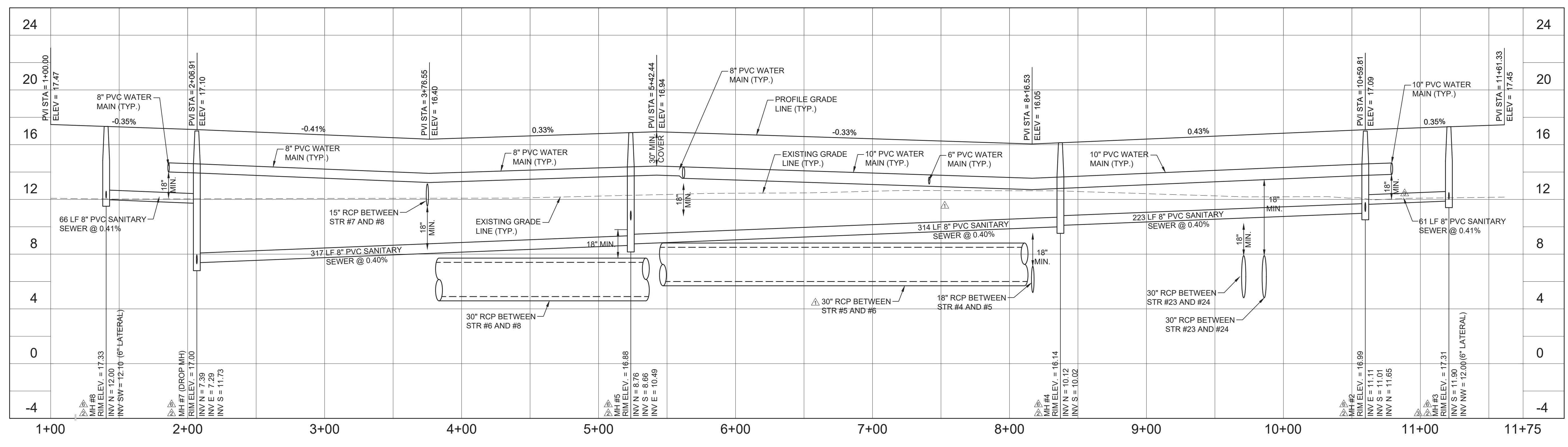
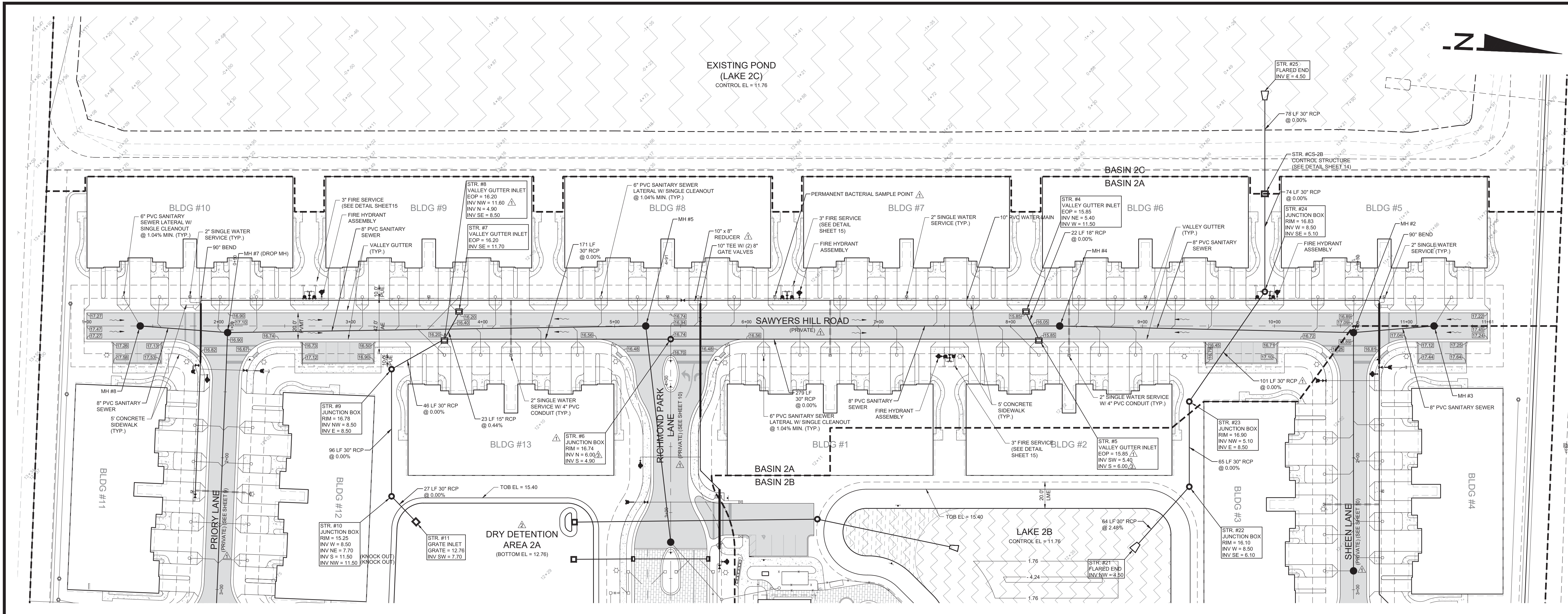
FLORIDA CERTIFICATE OF AUTHORIZATION #8636

JEREMY H. ARNOLD, P.E.
 FL LICENSE NO. 66421

SET NUMBER: 435-02-01

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VERTICAL ELEVATIONS BASED ON: NAVD-88

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SDP CONSTRUCTION PLANS FOR
RICHMOND PARK
 (F.K.A. ABACO CLUB)
 CLIENT: NEAL COMMUNITIES
 PLAN AND PROFILE: SAWYERS HILL
 ROAD (STA. 1+00 TO END)

PLAN REVISIONS

NO.	DATE	DESCRIPTION
1	05/27/16	REVISED PER AGENCY, CLIENT AND ENGINEER COMMENTS
2	06/21/16	REVISED PER SPWD ENGINEER COMMENTS
3	07/13/16	REVISED PER CLIENT, COUNTY AND ENGINEER COMMENTS
4	08/17/16	REVISED PER COUNTY COMMENTS AND SPWD

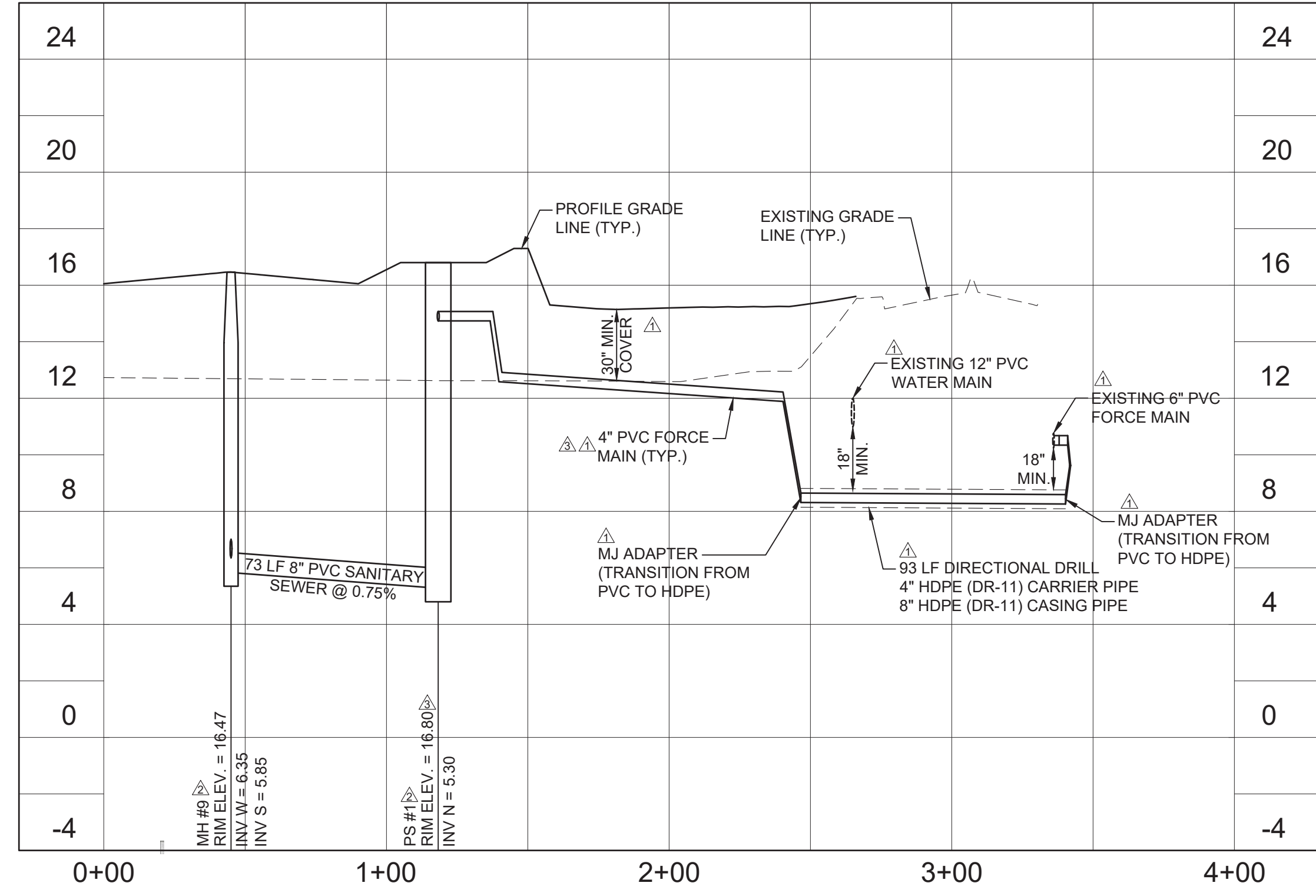
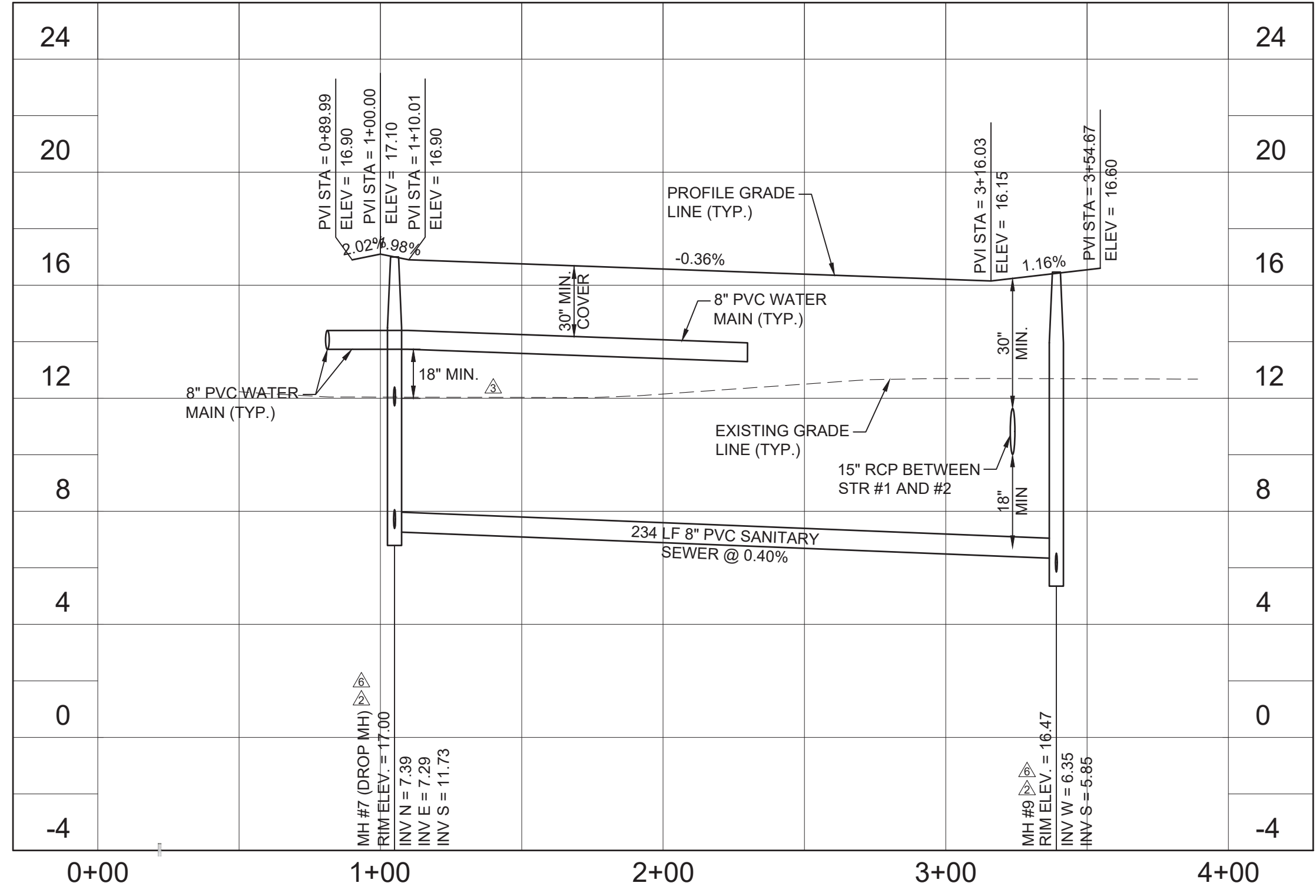
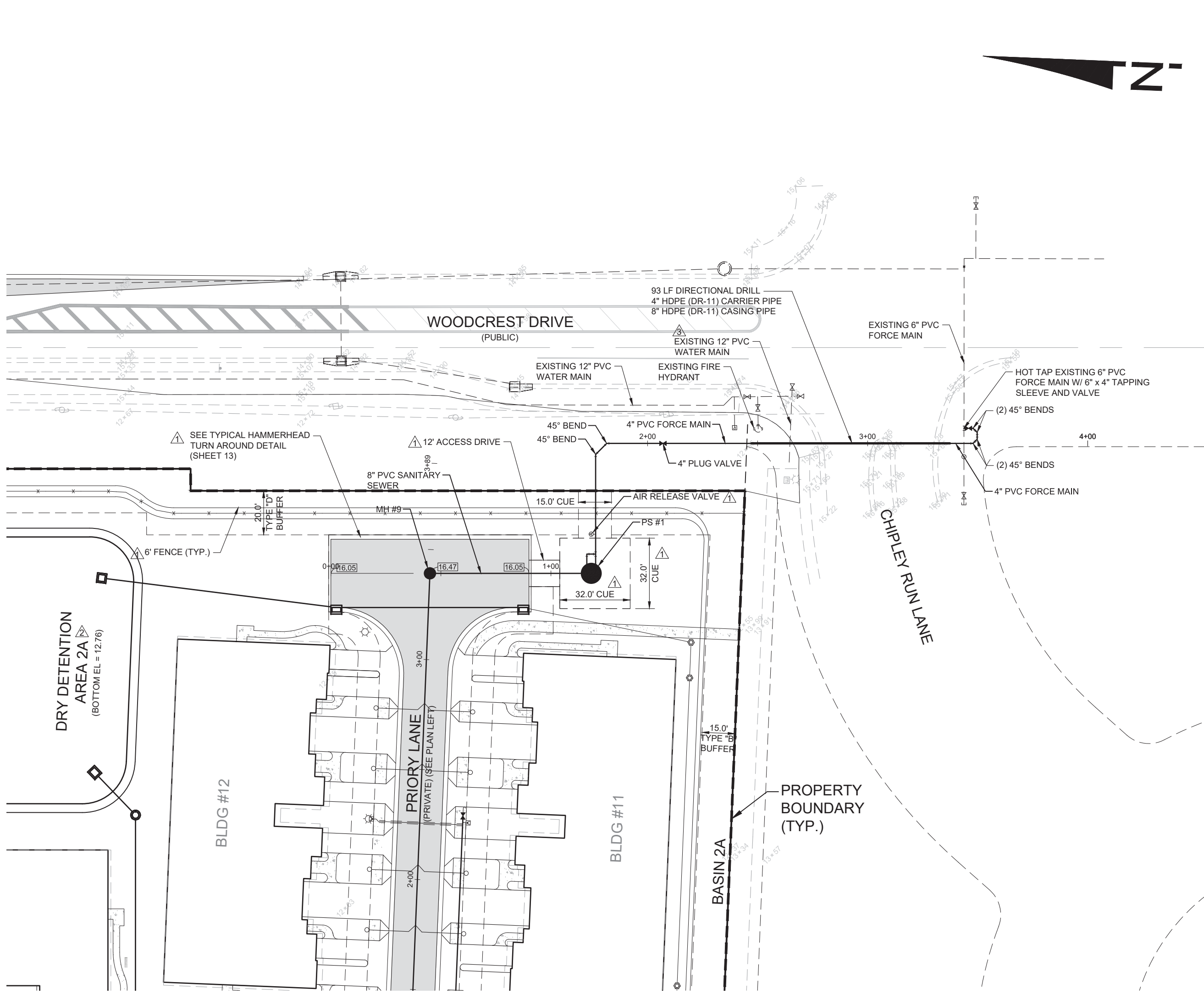
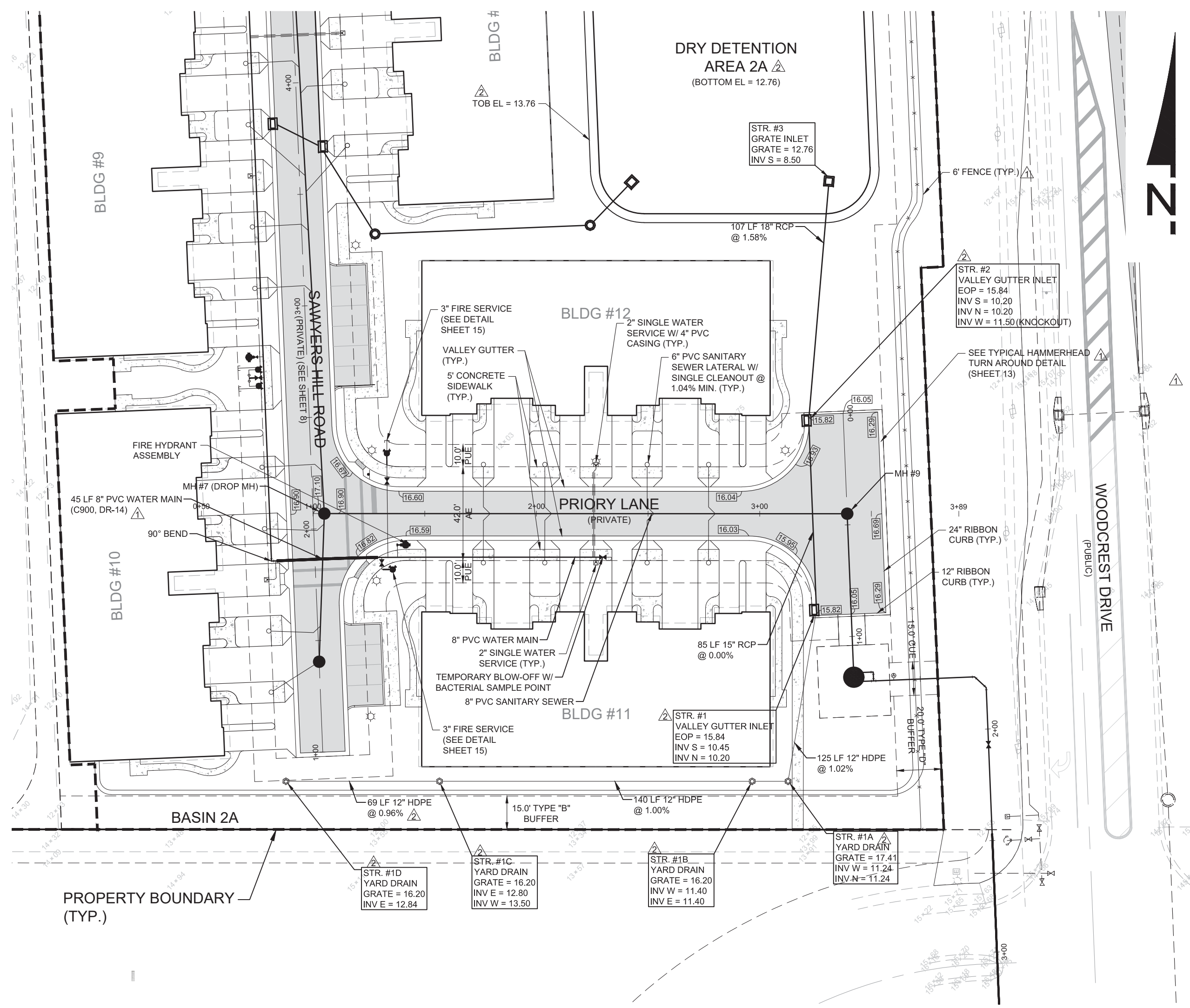
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FLORIDA CERTIFICATE OF AUTHORIZATION #8636

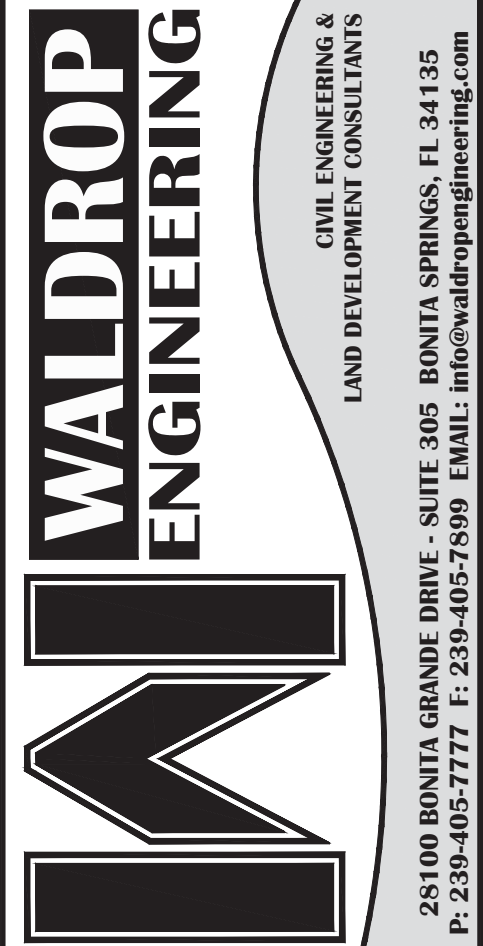
JEREMY H. ARNOLD, P.E.
 FL LICENSE NO. 66421

SET NUMBER: 435-02-01
 SHEET: 8

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VERTICAL ELEVATIONS BASED ON: NAVD-88 SHEET: 9



SDP CONSTRUCTION PLANS FOR
RICHMOND PARK
 (F.K.A. ABACO CLUB)
 CLIENT: NEAL COMMUNITIES
 PLAN AND PROFILE: PRIORITY LANE (STA. 0+00 TO
 END) AND PUMP STATION

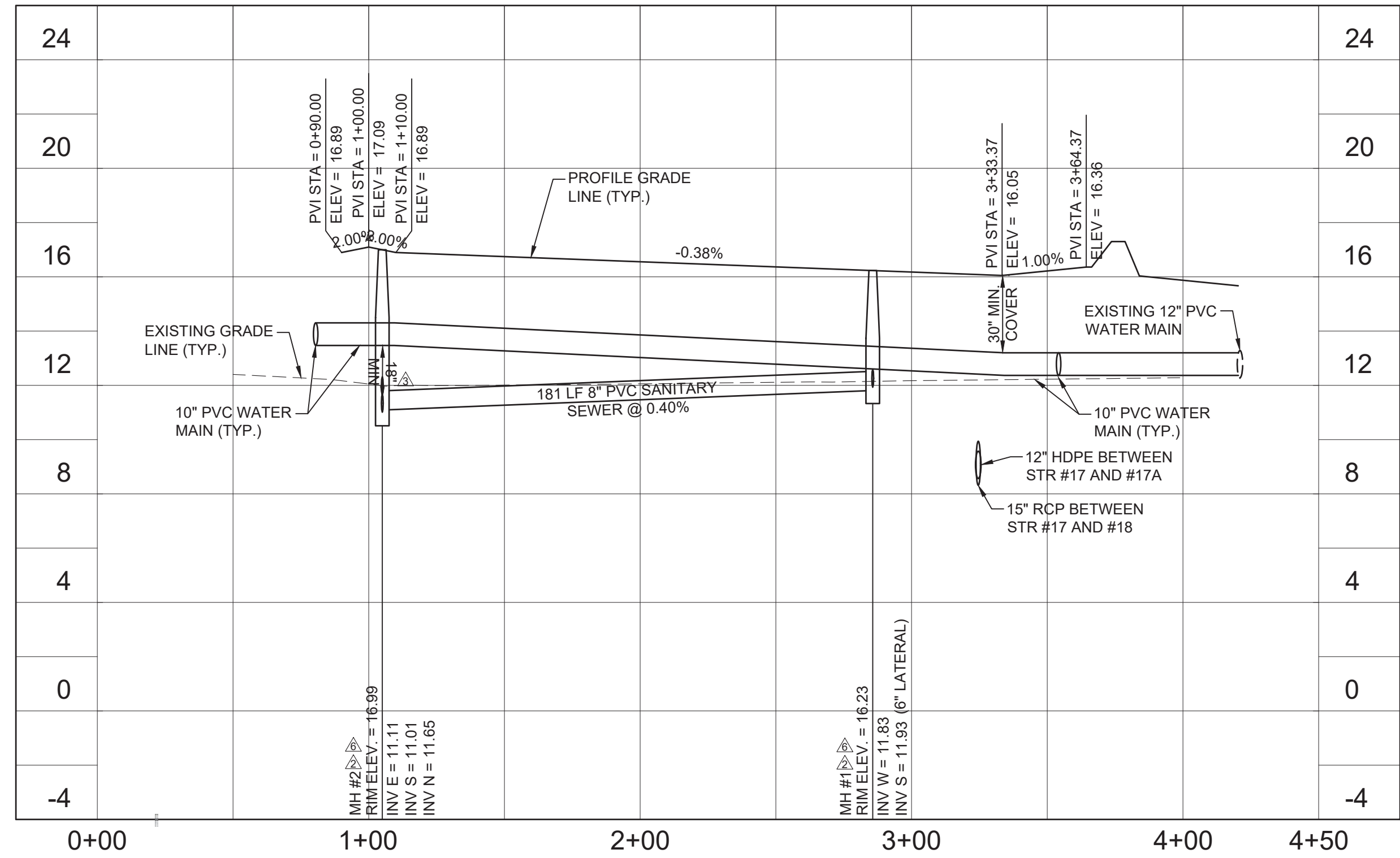
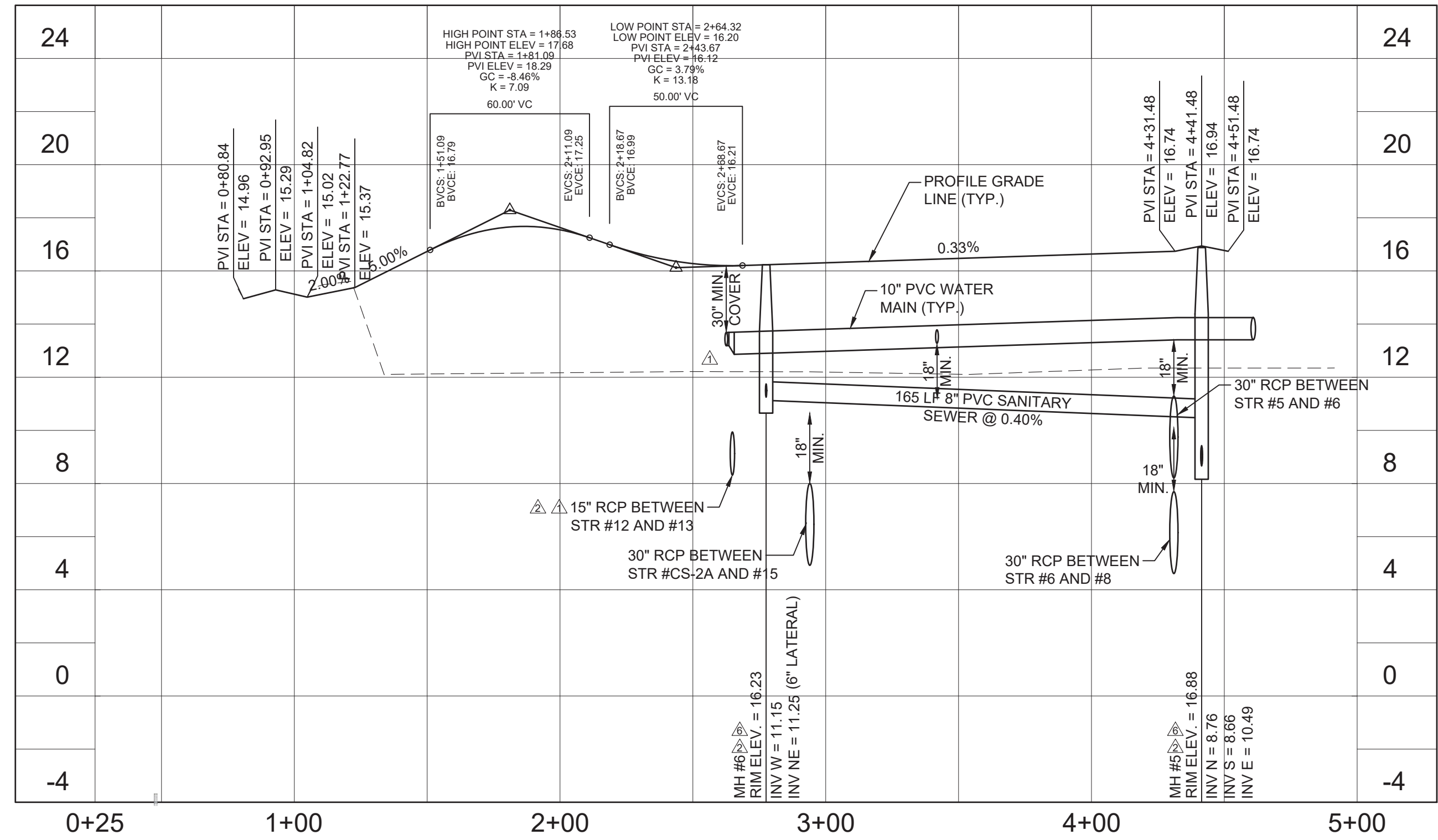
PLAN REVISIONS

NO.	DATE	DESCRIPTION
05/27/16		REVISED PER AGENCY CLIENT AND ENGINEER COMMENTS
06/21/16		REVISED PER SPWMD AND ENGINEER COMMENTS
07/13/16		REVISED PER CLIENT, COUNTY AND ENGINEER COMMENTS
08/17/16		REVISED PER COUNTY COMMENTS AND SPWMD

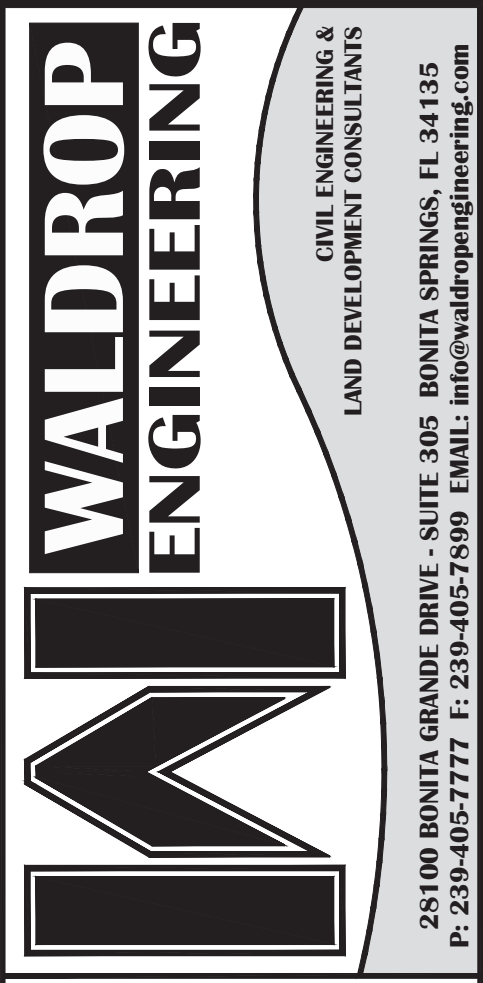
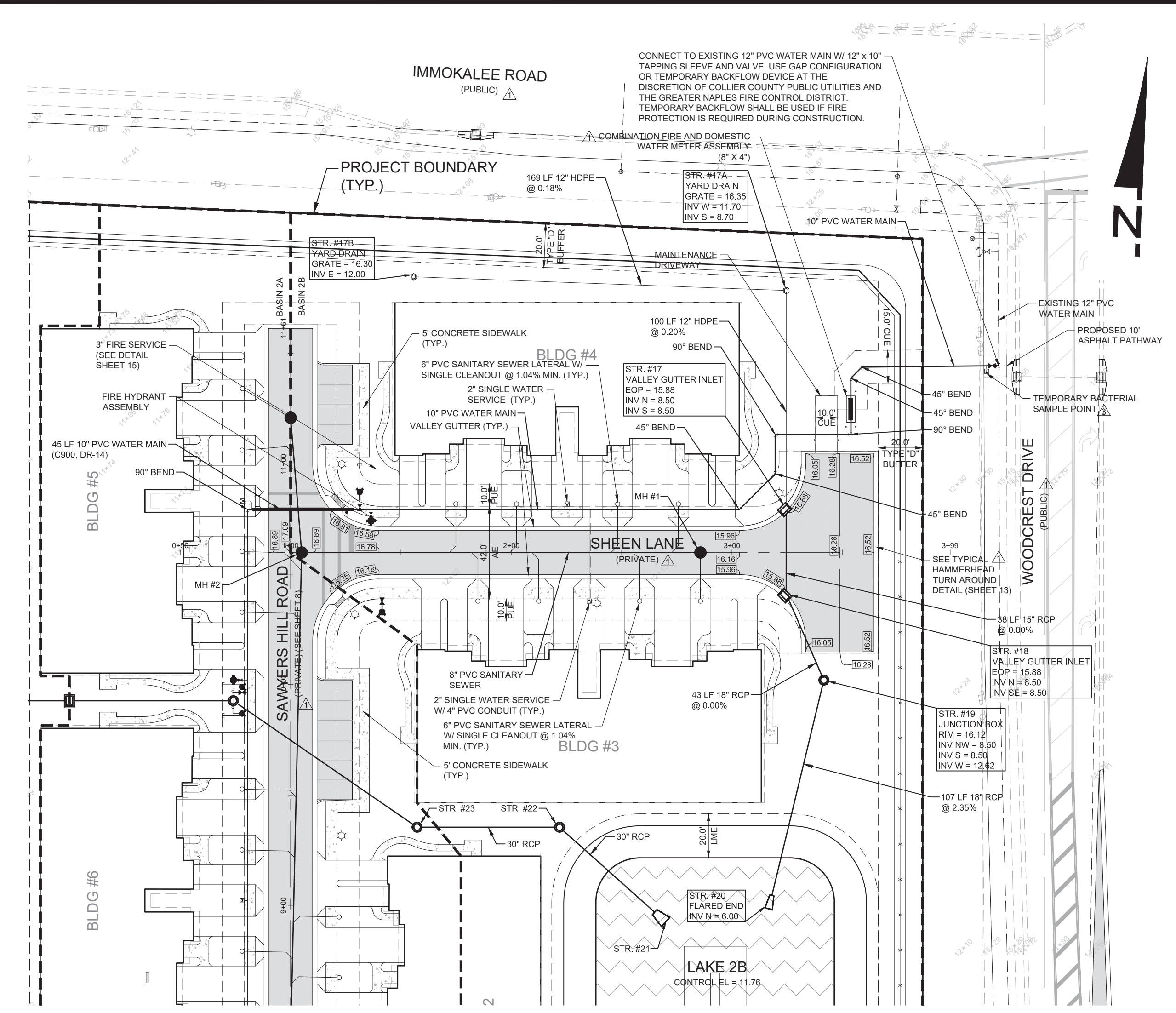
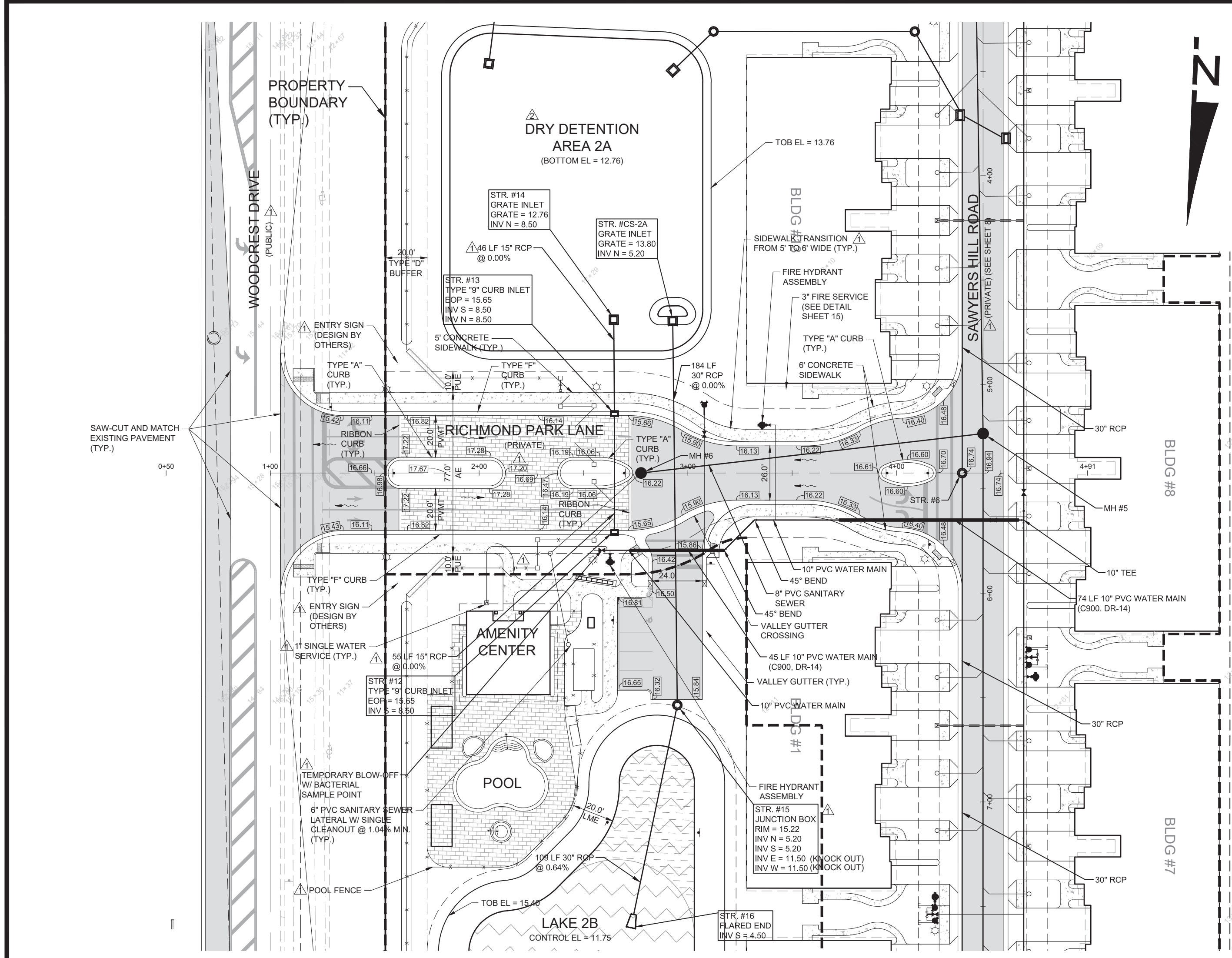
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 FLORIDA CERTIFICATE OF AUTHORIZATION #8636
 JEREMY H. ARNOLD, P.E.
 FL LICENSE NO. 66421
 SET NUMBER: 435-02-01
 SHEET: 9

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VERTICAL ELEVATIONS BASED ON: NAVD-88 SHEET: 10

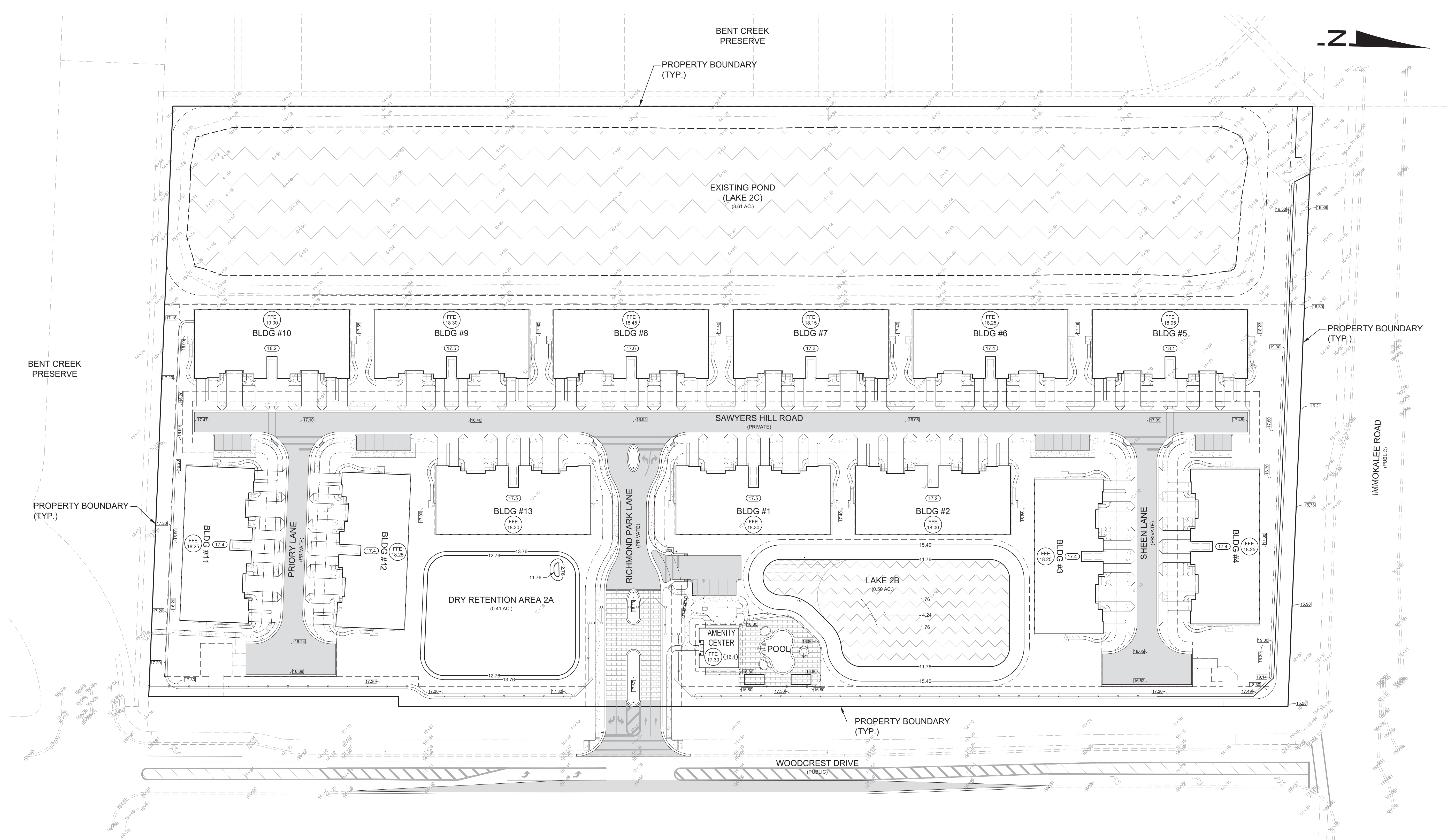


SDP CONSTRUCTION PLANS FOR
RICHMOND PARK
 (F.K.A. ABACO CLUB)
 CLIENT: NEAL COMMUNITIES
 PLAN AND PROFILE: RICHMOND PARK LANE (STA. 0+00 TO END) & SHEEN LANE (STA. 0+00 TO END)

NO.	DATE	DESCRIPTION
1	08/27/16	REVISED PER AGENCY, CLIENT AND ENGINEER COMMENTS
2	08/27/16	REVISED PER SFWMD AND ENGINEER COMMENTS
3	07/13/16	REVISED PER CLIENT, COUNTY AND ENGINEER COMMENTS
4	08/17/16	REVISED PER COUNTY COMMENTS AND SFWMD

FLORIDA CERTIFICATE OF AUTHORIZATION #8636
 JEREMY H. ARNOLD, P.E.
 FL LICENSE NO. 66421
 SET NUMBER: 435-02-01
 SHEET: 10

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- NOTES**
1. LOT GRADE PRIOR TO BUILDING CONSTRUCTION IS FINISHED FLOOR MINUS 10'.
 2. THE DISTANCE FROM THE RIGHT-OF-WAY TO THE HIGH POINT IN THE SIDE YARD SWALE VARIES. SEE PLANS FOR GRADE ELEVATION LOCATIONS.
 3. MINIMUM SLOPE FOR SIDE YARD SWALE SHALL BE 1%.
 4. ALL GRADES ARE TO TOP OF SOG.
 5. FINISHED FLOOR ELEVATION SHOWN IS FOR PRIMARY STRUCTURE. GARAGE FINISHED FLOOR ELEVATION VARIES. SEE BUILDING PLANS FOR MORE DETAILS.

LEGEND

- XXX FINISHED LOT GRADE
- FFE XXX FINISHED FLOOR ELEVATION
- XXX LOT GRADE PRIOR TO HOME CONSTRUCTION

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SDP CONSTRUCTION PLANS FOR

RICHMOND PARK

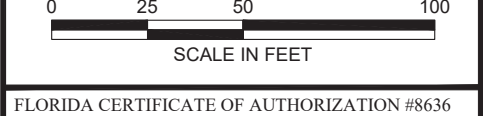
(F.K.A. ABACO CLUB)

CLIENT: NEAL COMMUNITIES

MASTER GRADING PLAN

PLAN REVISIONS

REV#	DATE	DESCRIPTION
05/27/16		REVISED PER AGENCY, CLIENT AND ENGINEER COMMENTS
06/21/16		REVISED PER SFWD AND ENGINEER COMMENTS
07/13/16		REVISED PER CLIENT, COUNTY AND ENGINEER COMMENTS
08/01/16		REVISED PER SFWD AND ENGINEER COMMENTS

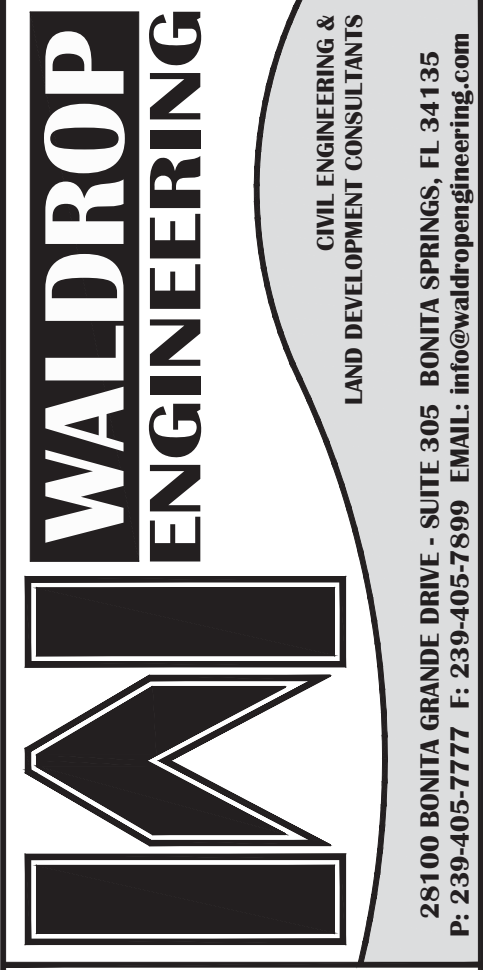
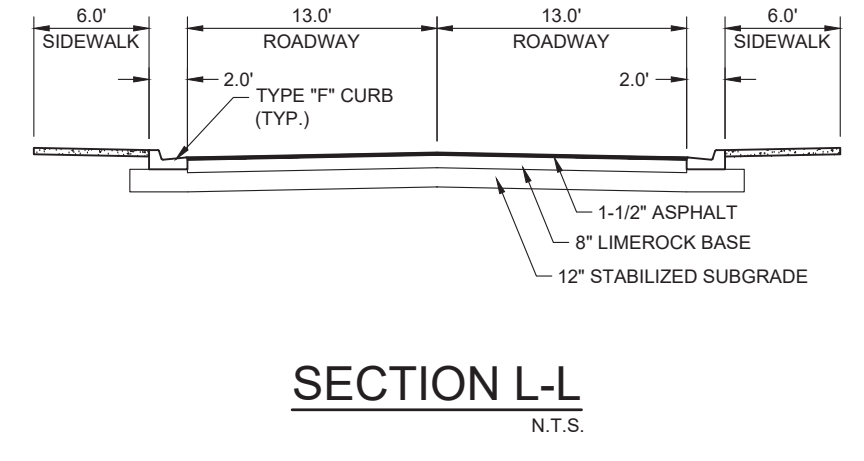
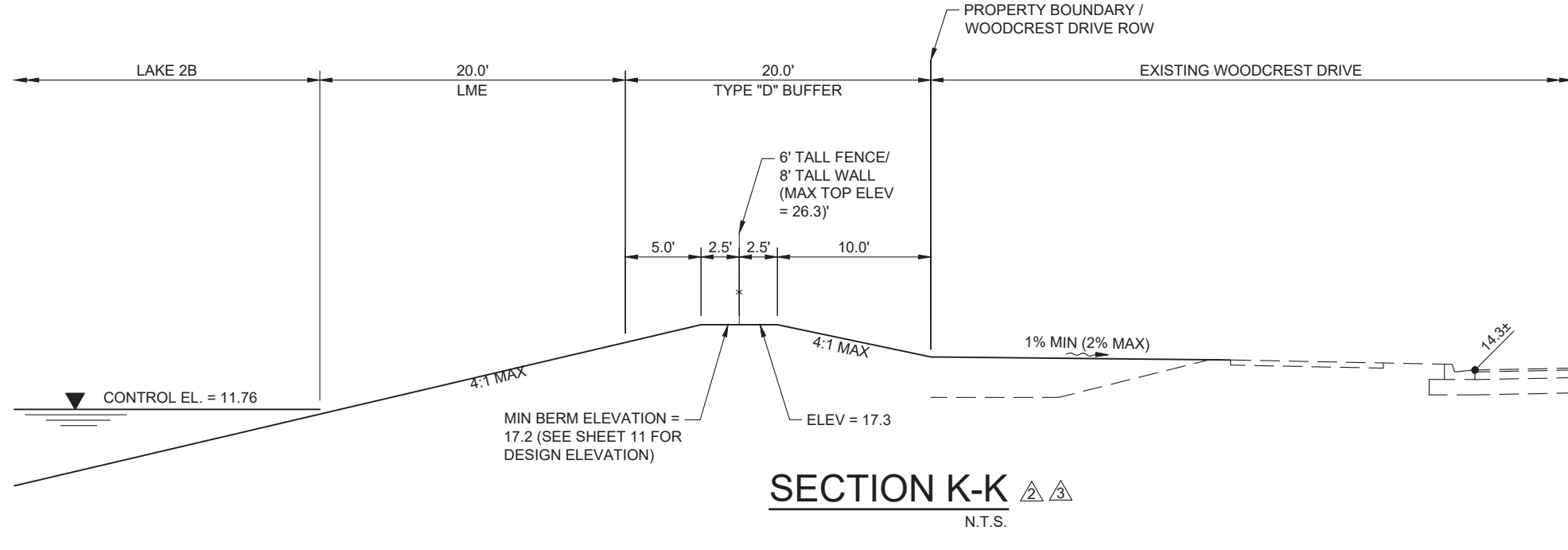
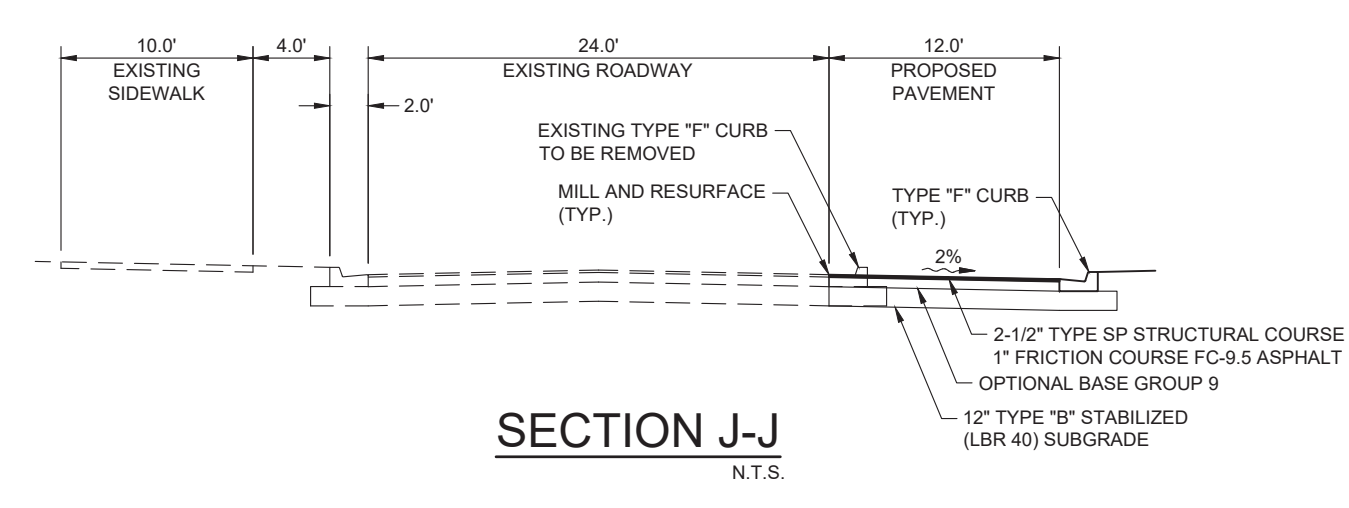
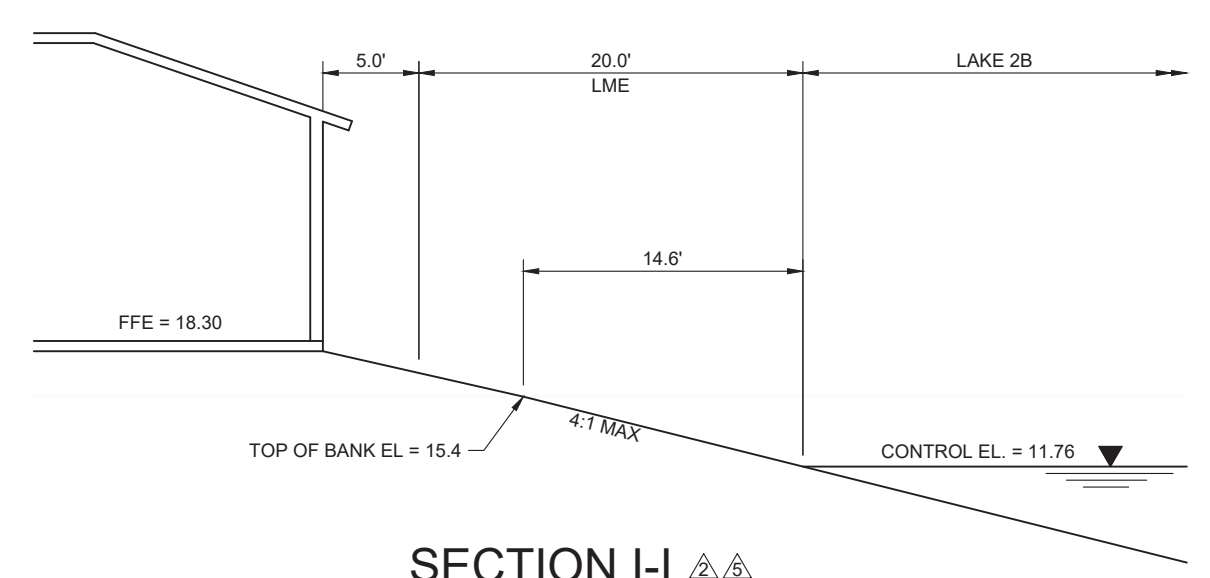
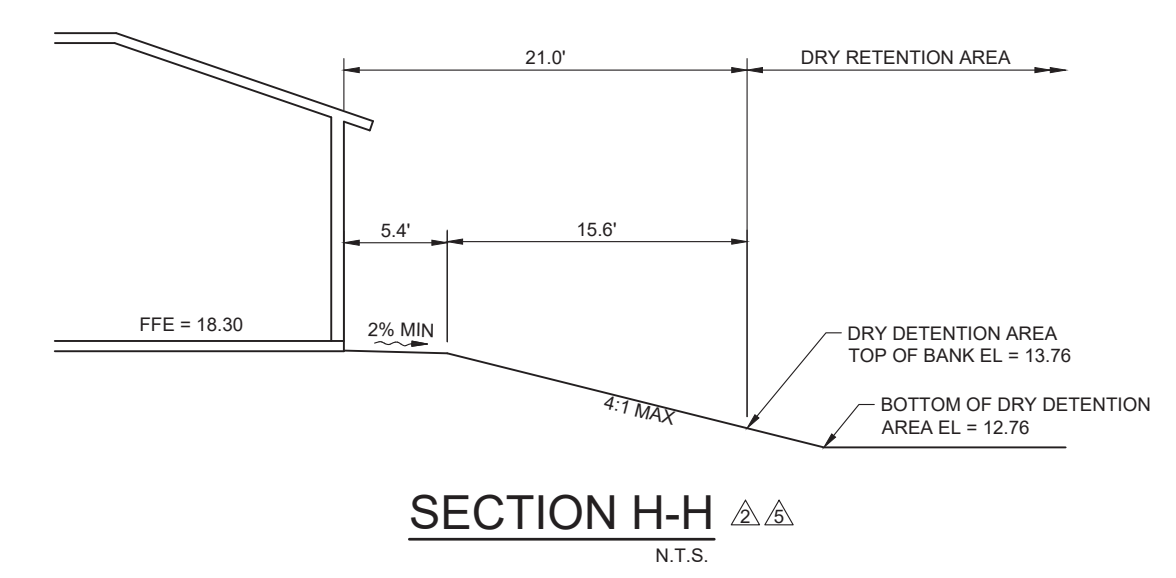
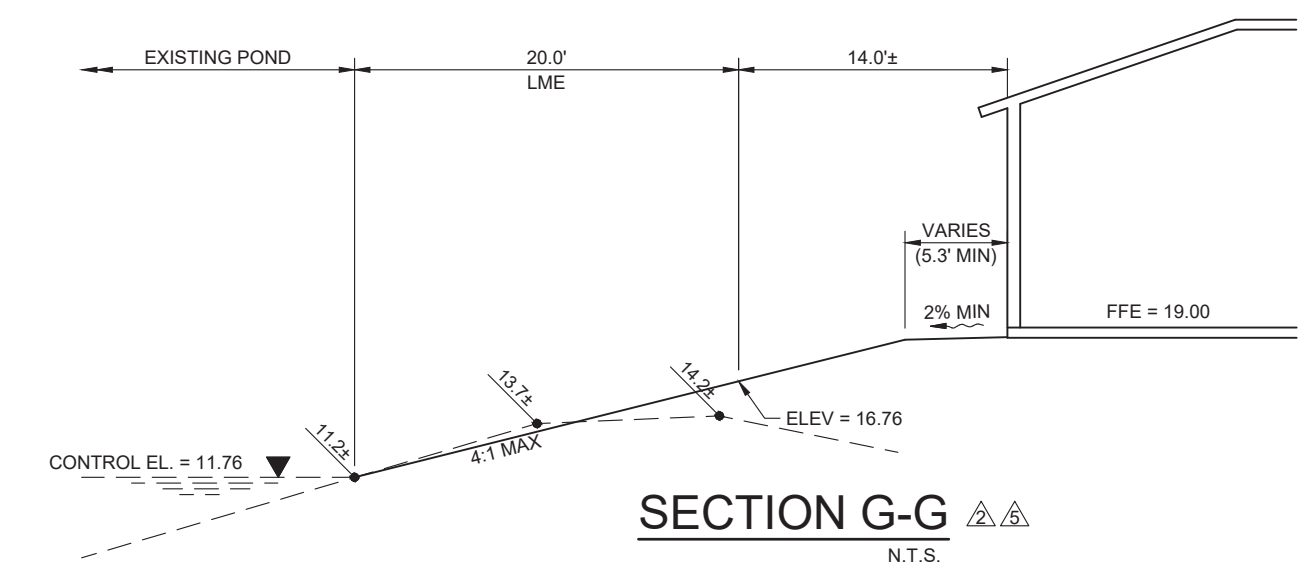
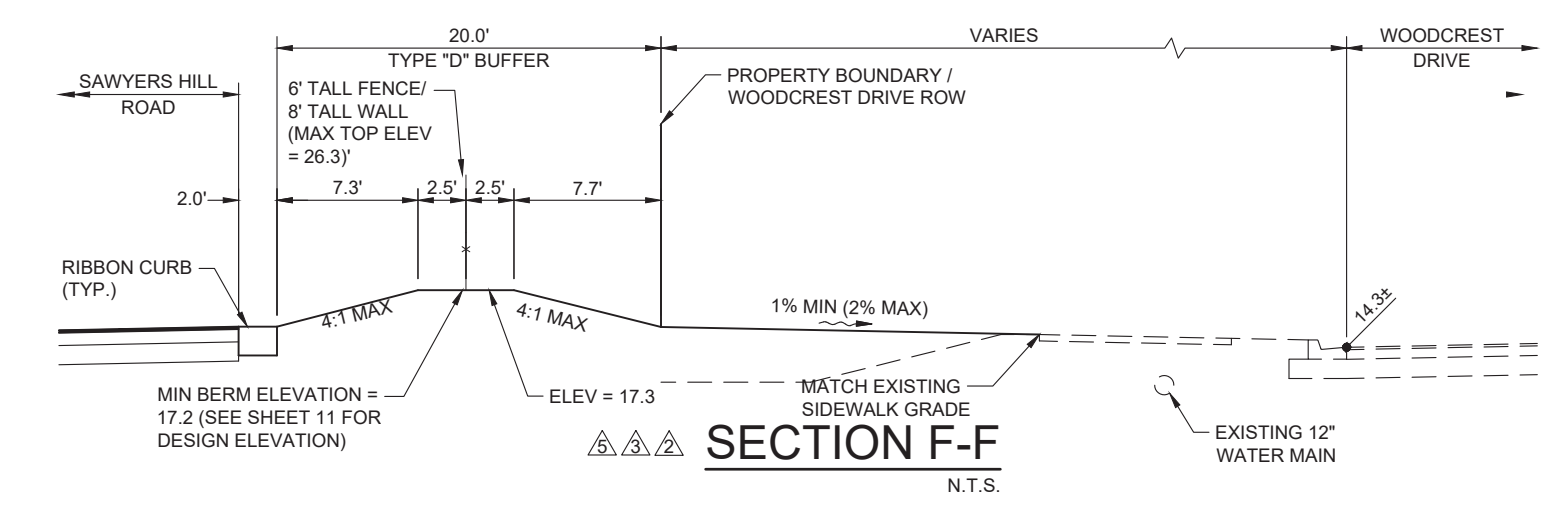
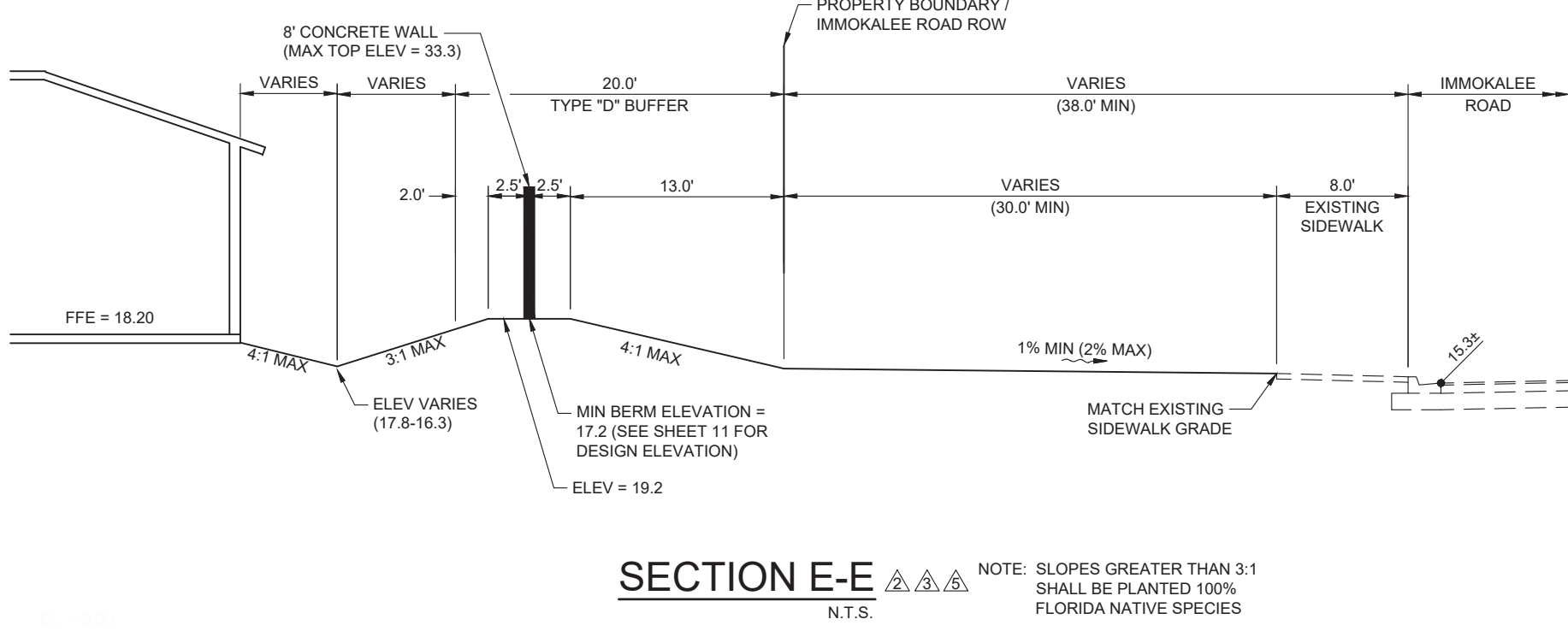
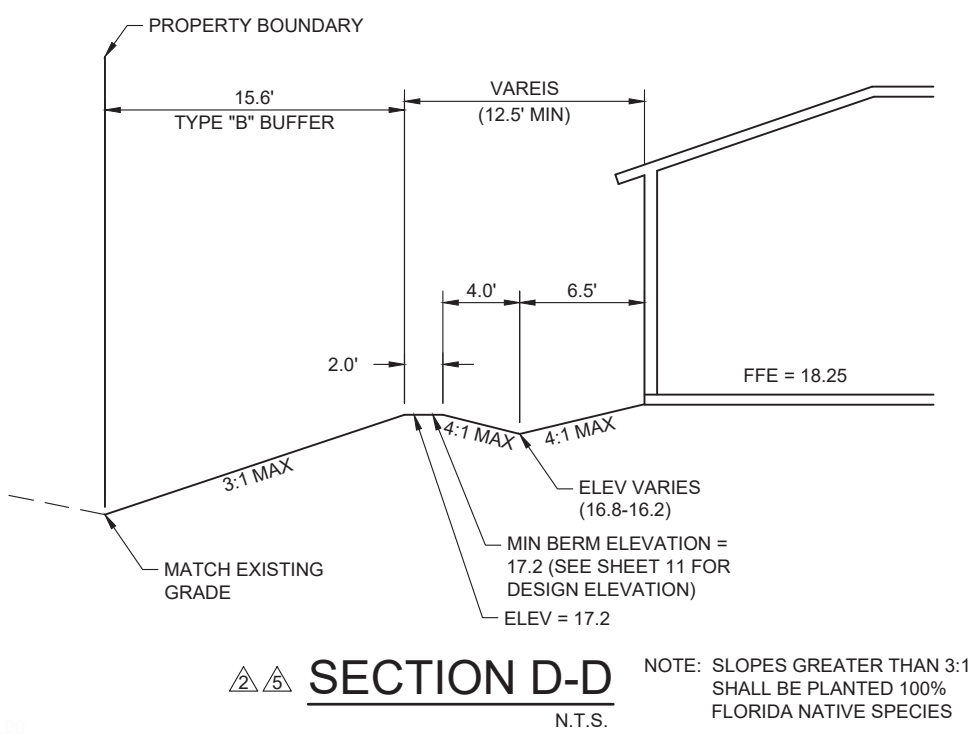
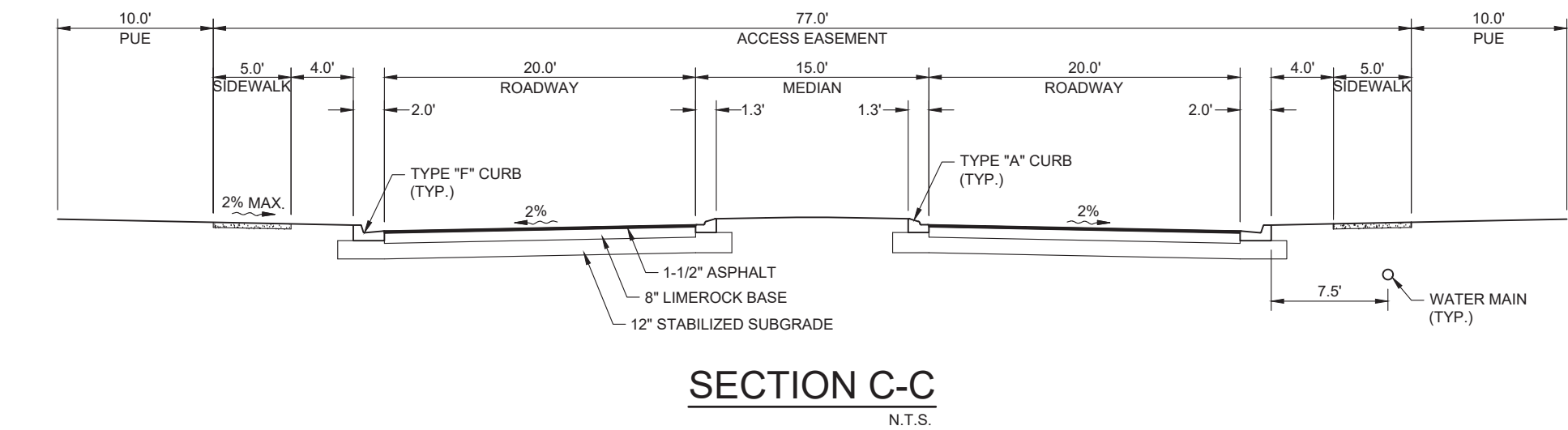
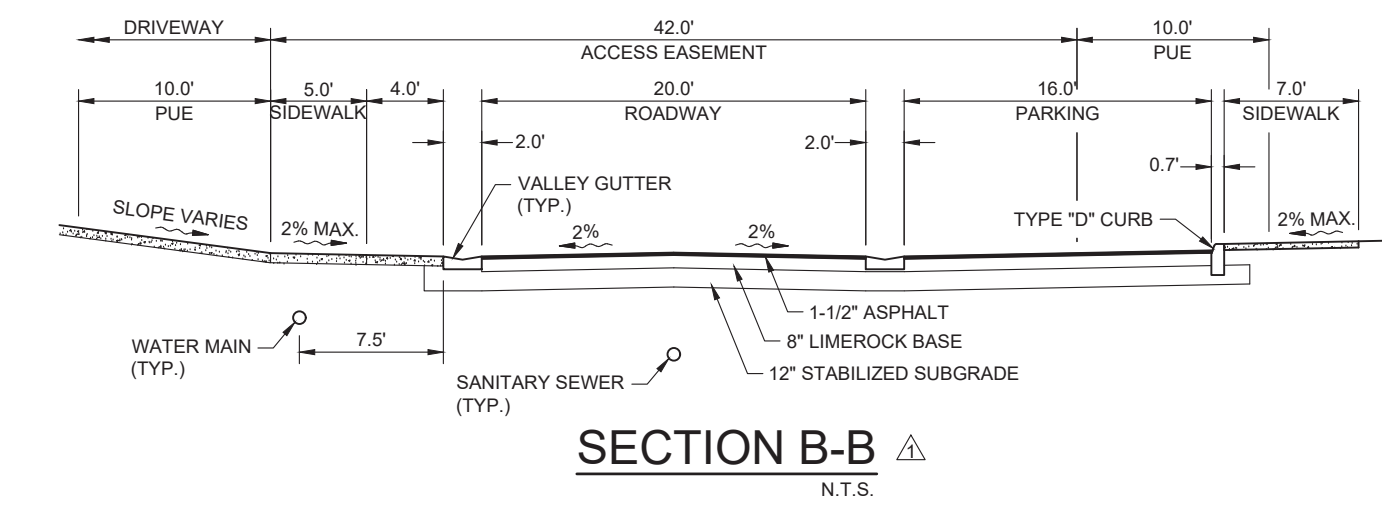
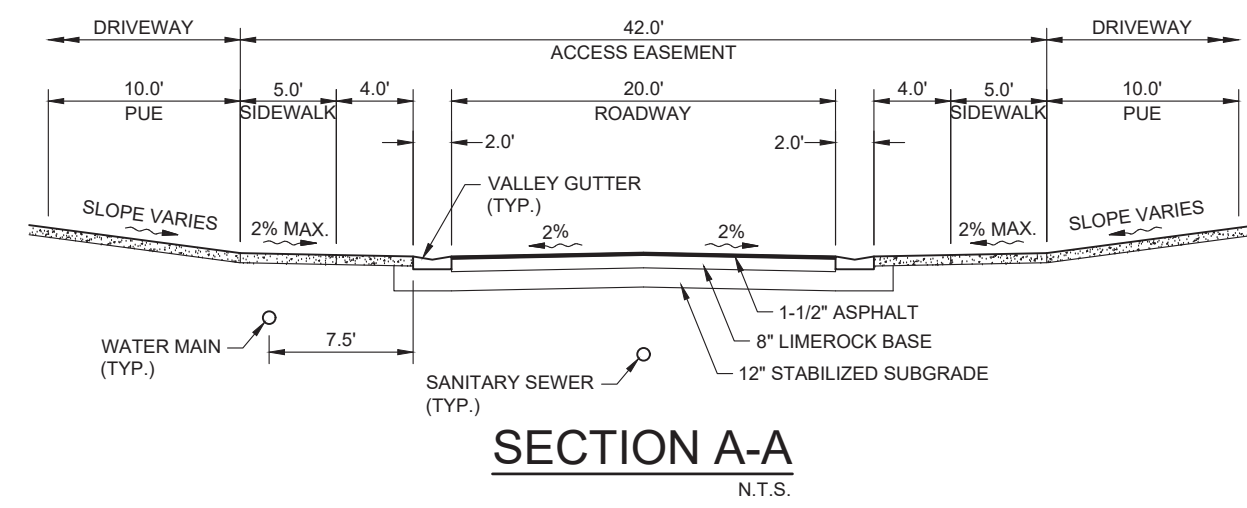
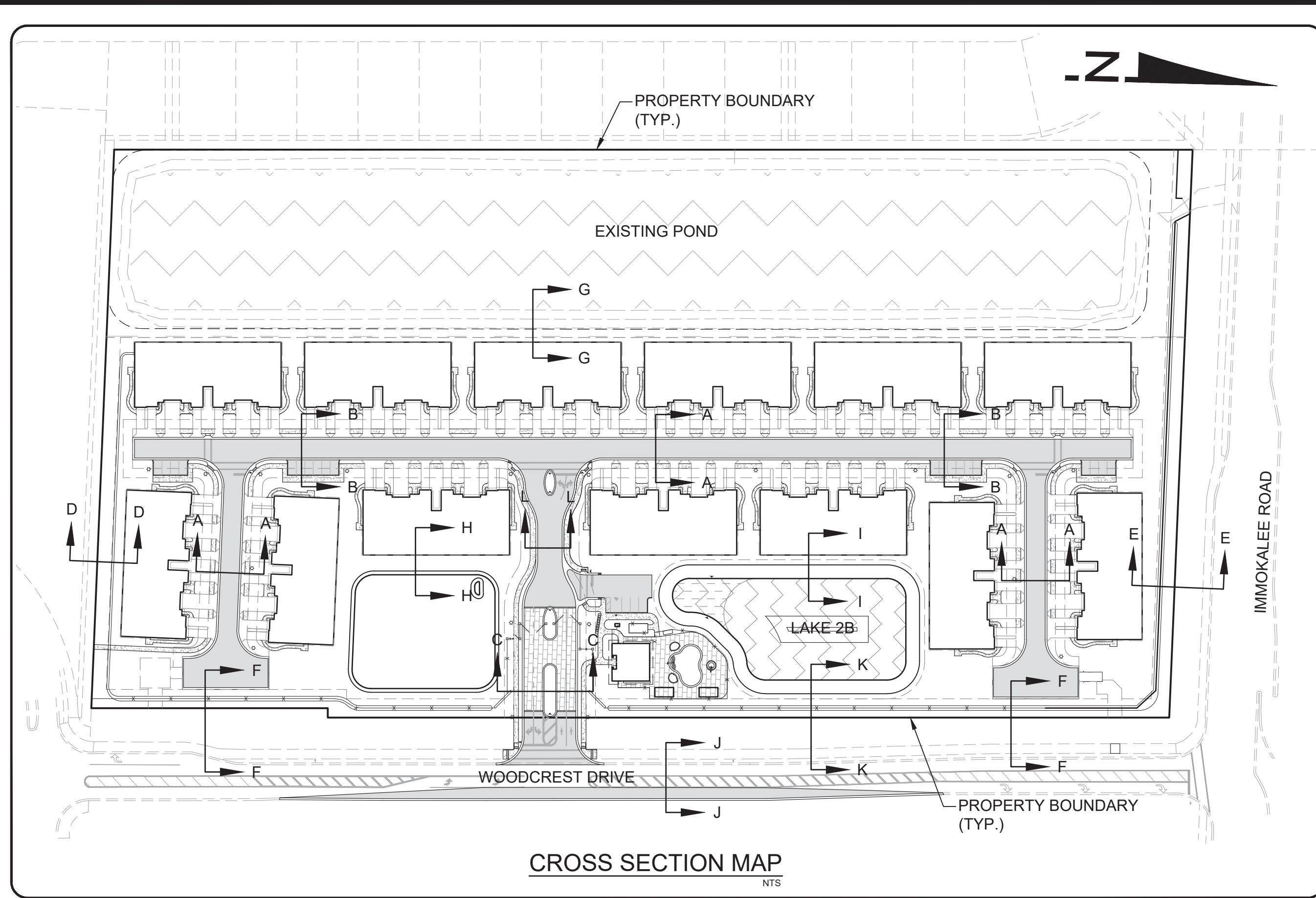


FLORIDA CERTIFICATE OF AUTHORIZATION #8636

JEREMY H. ARNOLD, P.E.
 FL LICENSE NO. 66421

SET NUMBER: 435-02-01

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SDP CONSTRUCTION PLANS FOR
RICHMOND PARK
 (F.K.A. ABACO CLUB)
 CLIENT: NEAL COMMUNITIES

CROSS SECTIONS

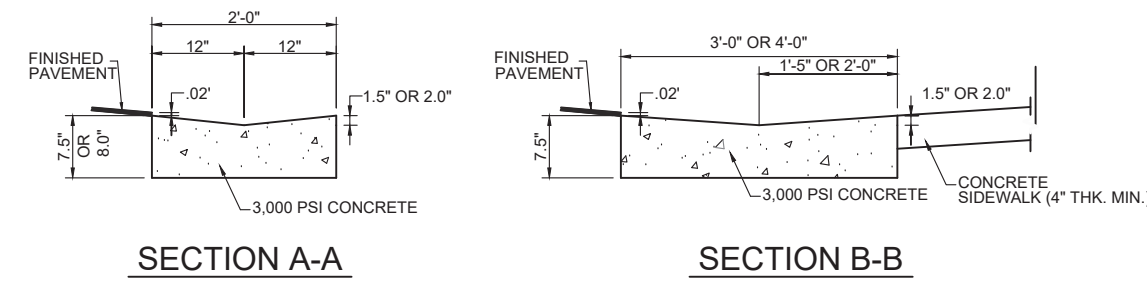
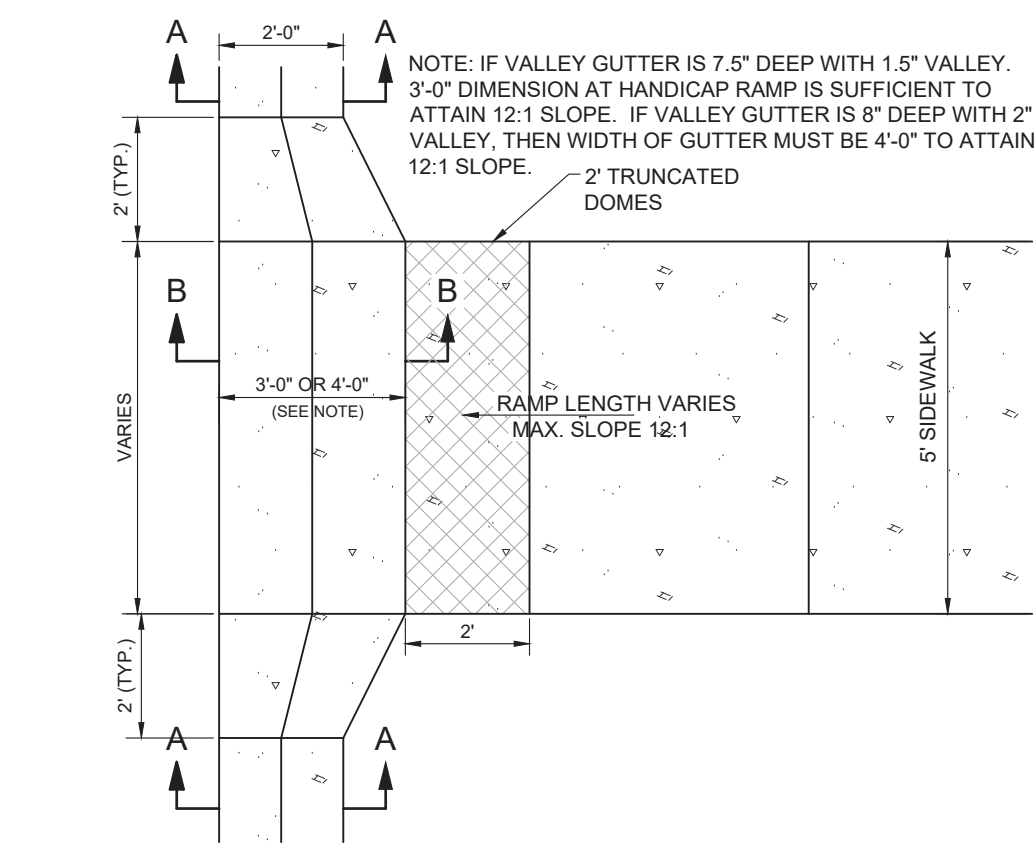
PLAN REVISIONS	REVISED PER AGENCY, CLIENT AND ENGINEER COMMENTS
REV00 - SUBMITTED (8/6/2018)	
05/27/16	REVISED PER AGENCY, CLIENT AND ENGINEER COMMENTS
06/21/16	REVISED PER SFWD AND ENGINEER COMMENTS
07/12/16	REVISED PER CLIENT, COUNTY AND ENGINEER COMMENTS
08/01/16	REVISED PER SFWD AND ENGINEER COMMENTS

NOT TO SCALE
 FLORIDA CERTIFICATE OF AUTHORIZATION #8636

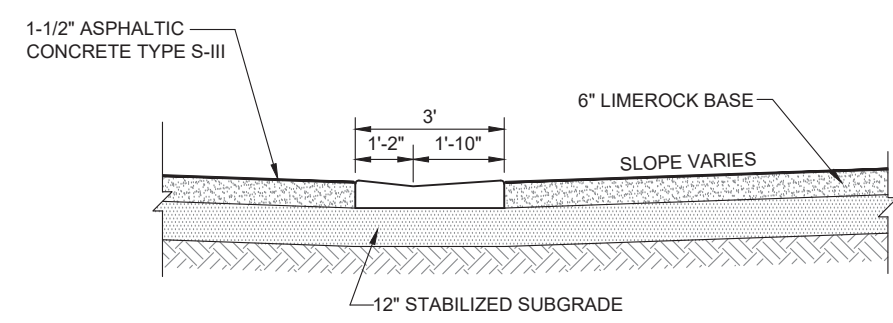
JEREMY H. ARNOLD, P.E.
 FL LICENSE NO. 66421
 SET NUMBER: 435-02-01

VERTICAL ELEVATIONS BASED ON: NAVD-88 SHEET: 12

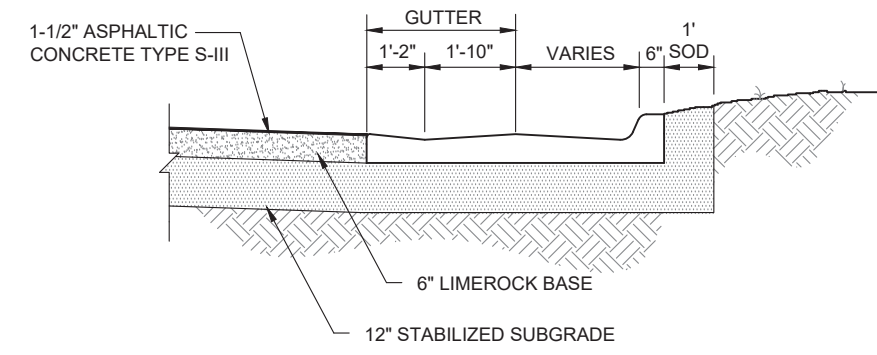
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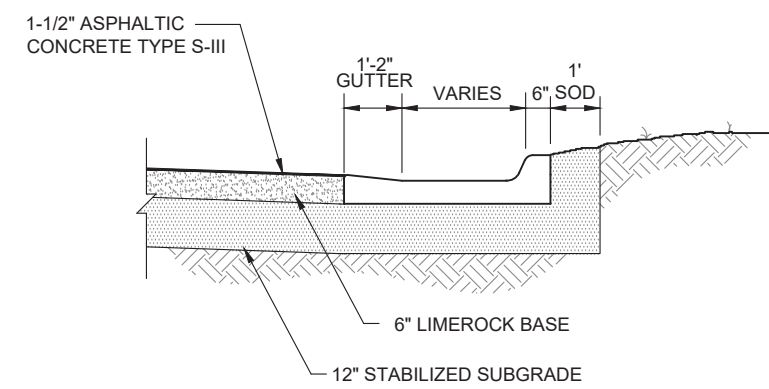
VALLEY GUTTER CONFIGURATION AT HANDICAPPED RAMP LOCATIONS
 N.T.S.



SECTION A-A



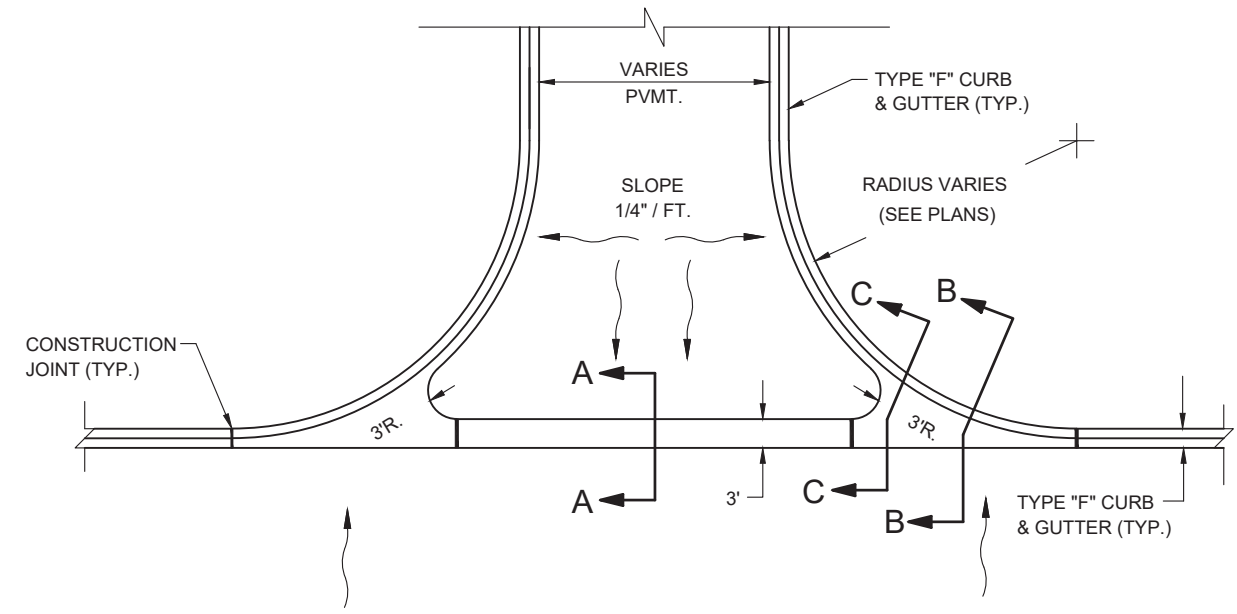
SECTION C-C



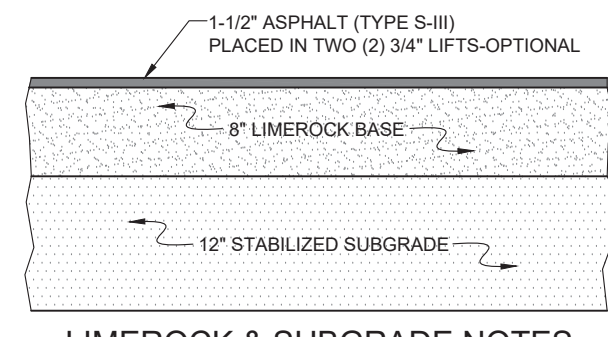
SECTION B-B

CONCRETE CURB JOINTS

- 1) CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 3000 PSI IN 28 DAYS, UNLESS OTHERWISE NOTED.
- 2) AN EXPANSION JOINT WILL BE PLACED AT THE END OF ALL RETURNS AT INTERVALS NOT TO EXCEED 50' WITH CONTRACTION JOINTS AT 10' INTERVALS BETWEEN.
- 3) PVC SLIP JOINTS SHALL BE CONSTRUCTED TO PERMIT EXPANSION & CONTRACTION OF STEEL ACROSS JOINT.
- 4) EXPANSION JOINTS SHALL BE CONSTRUCTED WITH 1/2" BITUMINOUS IMPREGNATED EXPANSION JOINT MATERIAL.



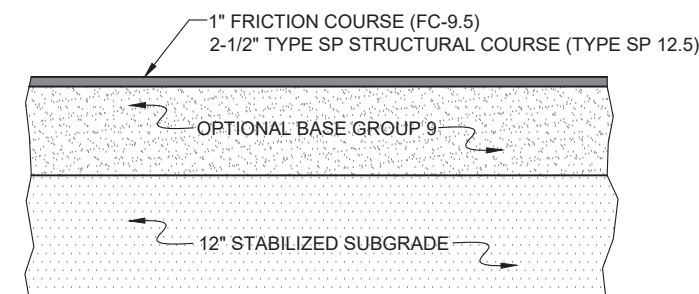
TYPICAL VALLEY CROSSING DETAIL (TYPE "F" CURB & GUTTER)
 N.T.S.



LIMEROCK & SUBGRADE NOTES:

- 1) 8" LIMEROCK BASE, PRIMED AND COMPACTED TO 98% OF MAX. DENSITY (DETERMINED BY AASHTO T-180)
- 2) 12" STABILIZED SUBGRADE (MIN. LBR 40)
- 3) STABILIZED SUBGRADE TO EXTEND 1 FOOT BEYOND EDGE OF PAVEMENT AND BACK OF CURB
- 4) WHEN NO CURB IS PROPOSED LIMEROCK TO EXTEND 6 INCHES BEYOND EDGE OF PAVEMENT

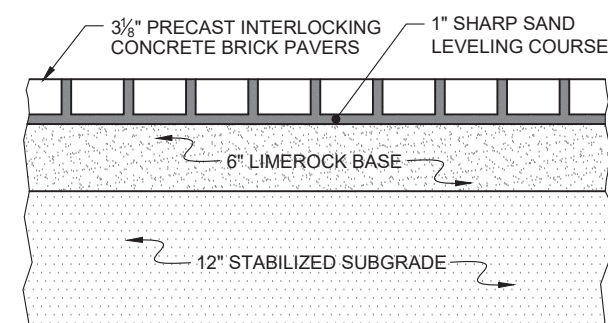
TYPICAL PAVING SECTION
 N.T.S.



LIMEROCK & SUBGRADE NOTES:

- 1) OPTIONAL BASE GROUP 9 TO BE SELECTED BY CONTRACTOR AT TIME OF BID
- 2) 12" STABILIZED SUBGRADE (MIN. LBR 40)
- 3) STABILIZED SUBGRADE TO EXTEND 1 FOOT BEYOND EDGE OF PAVEMENT AND BACK OF CURB
- 4) WHEN NO CURB IS PROPOSED LIMEROCK TO EXTEND 6 INCHES BEYOND EDGE OF PAVEMENT
- 5) REFERENCE FDOT 2015 FLEXIBLE PAVEMENT DESIGN MANUAL

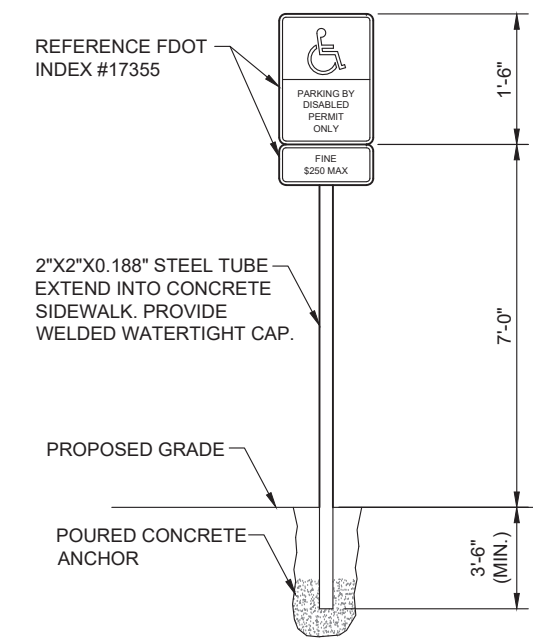
TYPICAL ROW PAVING SECTION
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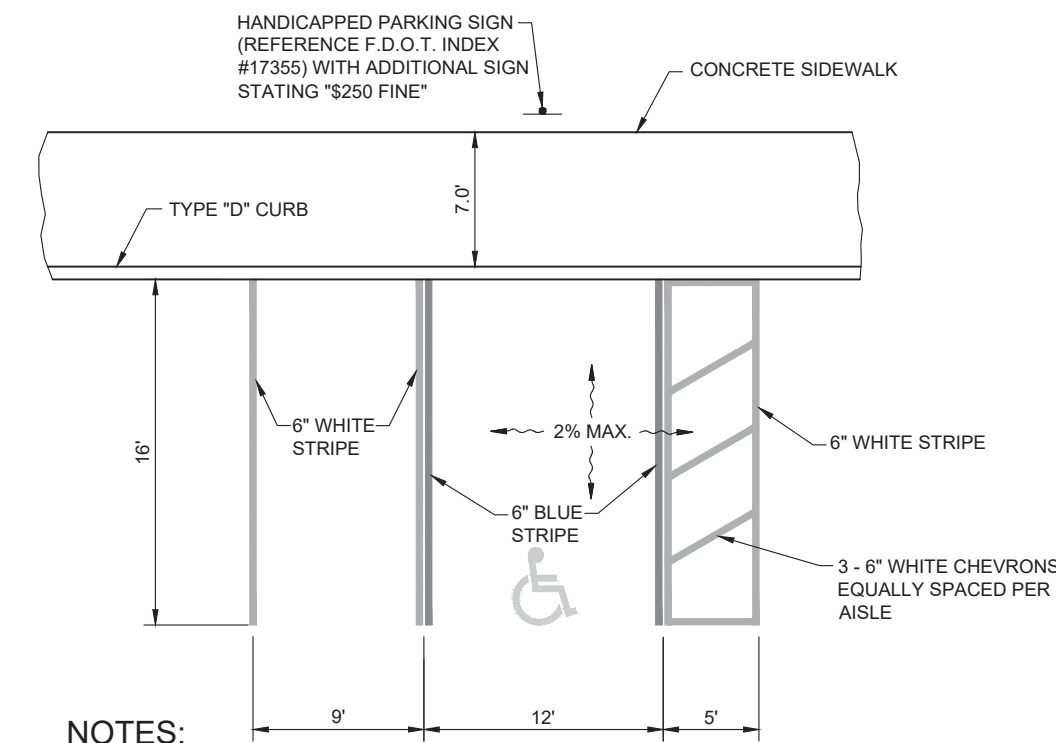
PAVING NOTES:

- 1) 6" LIMEROCK BASE, PRIMED AND COMPACTED TO 98% OF MAX. DENSITY (DETERMINED BY AASHTO T-180)
- 2) 12" STABILIZED SUBGRADE (MIN. LBR 40)
- 3) STABILIZED SUBGRADE TO EXTEND 1 FOOT BEYOND EDGE OF PAVEMENT AND BACK OF CURB
- 4) WHEN NO CURB IS PROPOSED LIMEROCK TO EXTEND 6 INCHES BEYOND EDGE OF PAVEMENT

TYPICAL PAVER BRICK SECTION
 N.T.S.



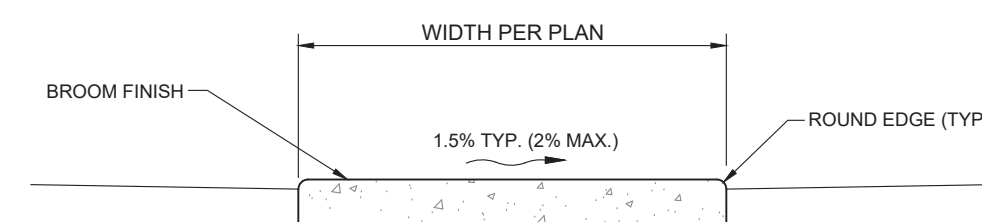
HANDICAPPED PARKING SIGN
 (FDOT INDEX #17355) N.T.S.



NOTES:

- 1) ACCESSIBLE PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 1:50 (2%) IN ALL DIRECTIONS PER ADA STANDARDS FOR ACCESSIBLE DESIGN SECTION 4.6.

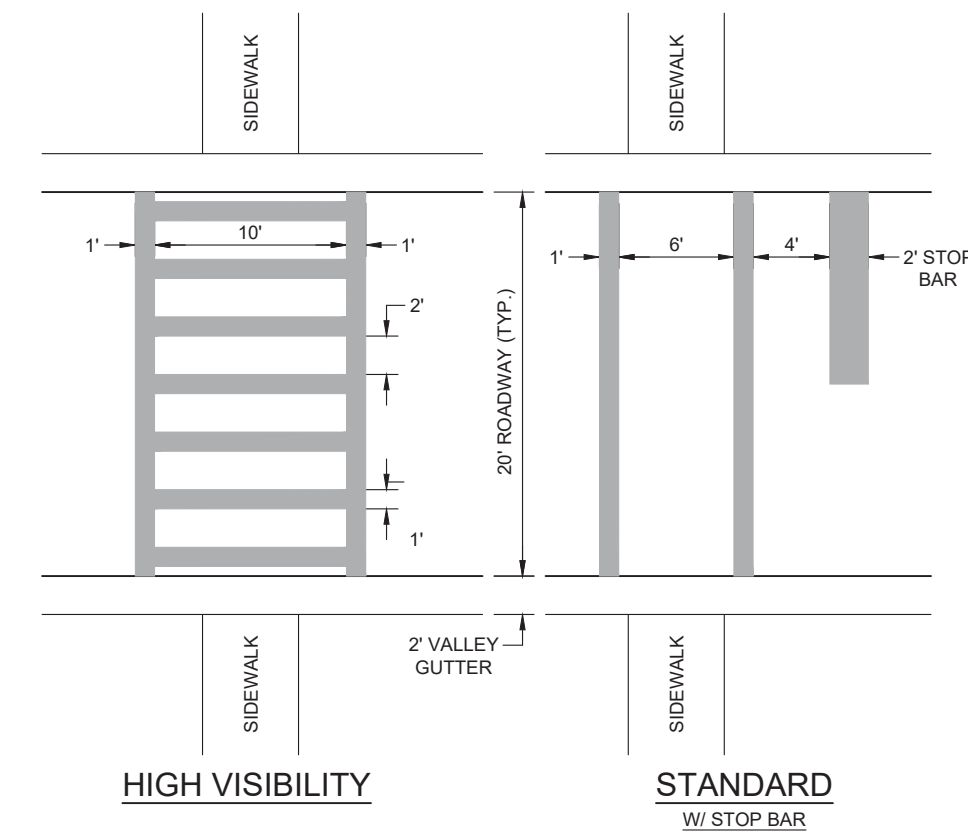
TYPICAL PARKING SPACE DETAIL
 N.T.S.



NOTES:

- 1) SIDEWALK SHALL BE CONSTRUCTED IN CONFORMANCE WITH FDOT STANDARD INDEX 310 AND STANDARD SPECIFICATION 522 AND CORRESPONDING STANDARDS.
- 2) COMPACT FILL AREAS TO MINIMUM 95% OF AASHTO T99 DENSITY.
- 3) SIDEWALK SHALL HAVE CONTRACTION JOINTS SPACED EQUALLY TO THE SIDEWALK WIDTH AND HAVE EXPANSION JOINTS EVERY 120' MAXIMUM.
- 4) CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 3000 PSI IN 28 DAYS.
- 5) SIDEWALKS SHALL HAVE A MAXIMUM RUNNING SLOPE OF 1:20 (5%) AND A MAXIMUM CROSS SLOPE OF 1:48 (2%) PER 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN SECTION 403.3
- 6) CURB RAMP SHALL BE CONSTRUCTED IN CONFORMANCE WITH ADA STANDARDS FOR ACCESSIBLE DESIGN SECTION 406 AND 2010 FDOT STANDARD INDEX 304.

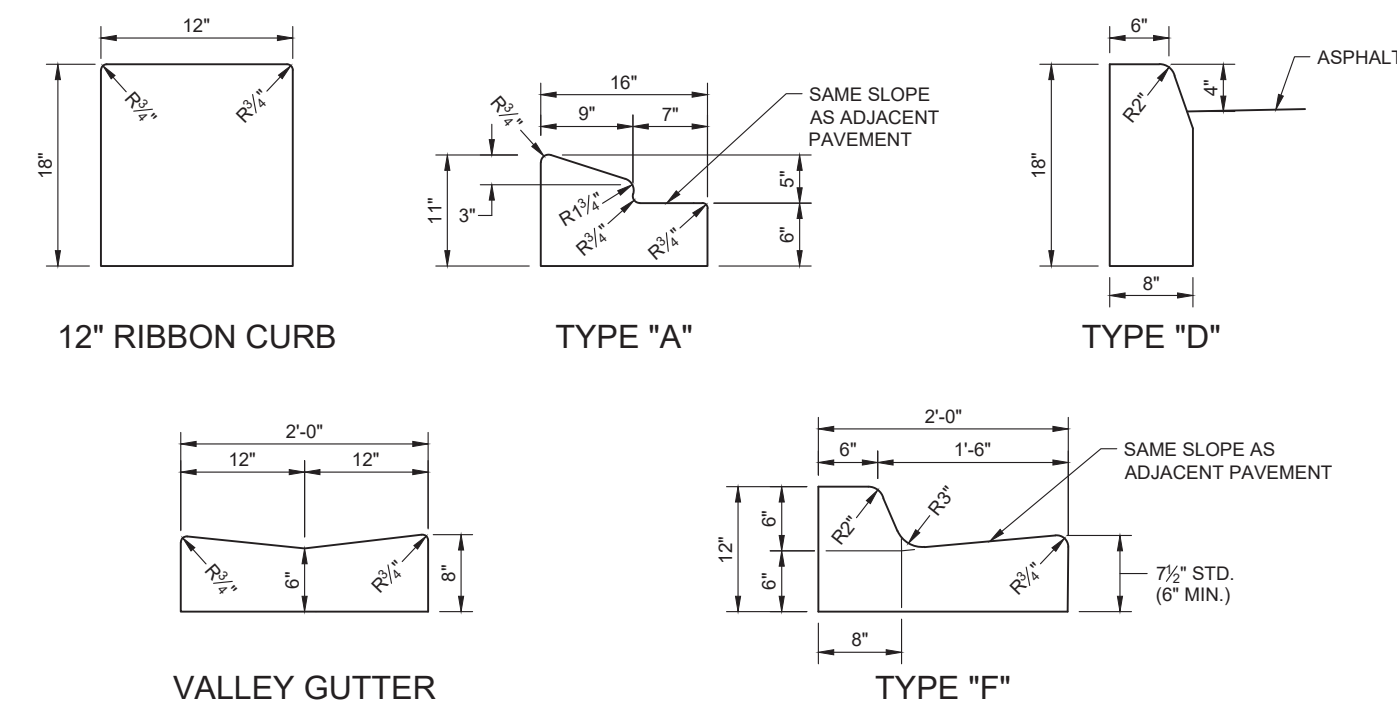
TYPICAL CONCRETE SIDEWALK DETAIL
 N.T.S.



NOTES:

- 1) SEE PLANS FOR TYPE OF CROSSWALK STRIPING AND LOCATION.
- 2) DETAILS REFERENCED F.D.O.T. INDEX NO. 17346 & M.U.T.C.D. SECTION 38.17
- 3) CROSSWALKS SHALL HAVE A MAXIMUM RUNNING SLOPE OF 1:20 (5%) AND A MAXIMUM CROSS SLOPE OF 1:50 (2%) PER ADA STANDARDS FOR ACCESSIBLE DESIGN SECTION 4.3.

TYPICAL PEDESTRIAN CROSSWALKS
 N.T.S.

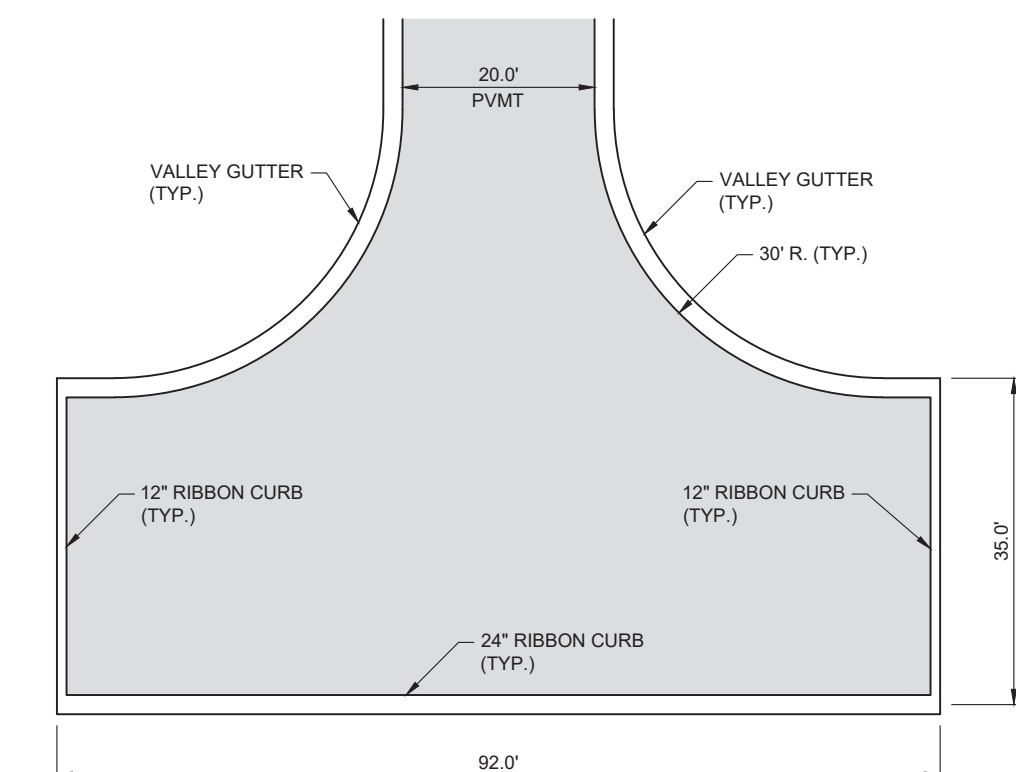


VALLEY GUTTER

CONCRETE CURB NOTES:

- 1) CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 3000 P.S.I. IN 28 DAYS UNLESS OTHERWISE NOTED.
- 2) CURB SHALL BE CONSTRUCTED IN CONFORMANCE WITH FDOT INDEX 300
- 3) CURB SHALL HAVE EXPANSION JOINTS INSTALLED WITHIN 10' OF EACH SIDE OF INLETS, AND EVERY 500'.
- 4) AN EXPANSION JOINT WILL BE PLACED AT THE END OF ALL RETURNS AT INTERVALS NOT TO EXCEED 50' WITH CONTRACTION JOINTS AT 10' INTERVALS.
- 5) EXPANSION JOINTS SHALL BE CONSTRUCTED WITH 1/2" BITUMINOUS IMPREGNATED EXPANSION MATERIAL.

CURB AND CURB AND GUTTER DETAILS
 N.T.S.



TYPICAL HAMMERHEAD TURN AROUND DETAIL
 N.T.S.



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SDP CONSTRUCTION PLANS FOR
RICHMOND PARK
 (F.K.A. ABACO CLUB)
 CLIENT: NEAL COMMUNITIES

PAVING DETAILS

PLAN REVISIONS	REV#	DATE	DESCRIPTION
Δ	05/27/16		REVISED PER AGENCY CLIENT AND ENGINEER COMMENTS

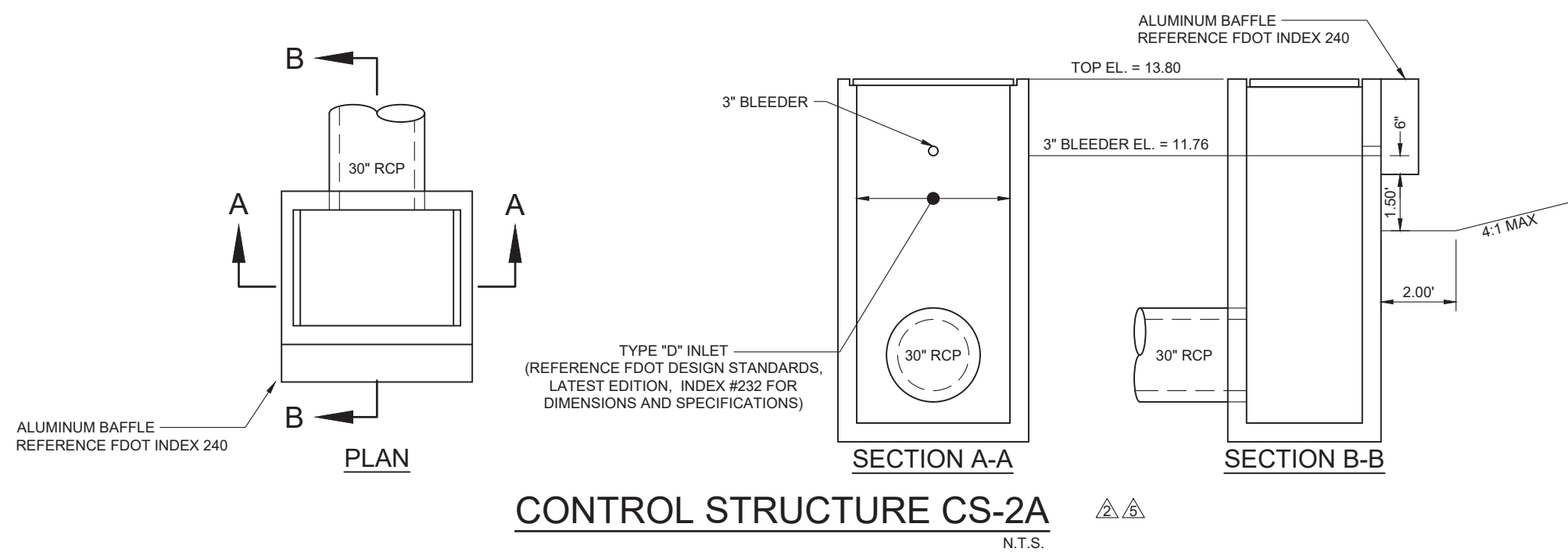
SCALE AS SHOWN

FLORIDA CERTIFICATE OF AUTHORIZATION #6636

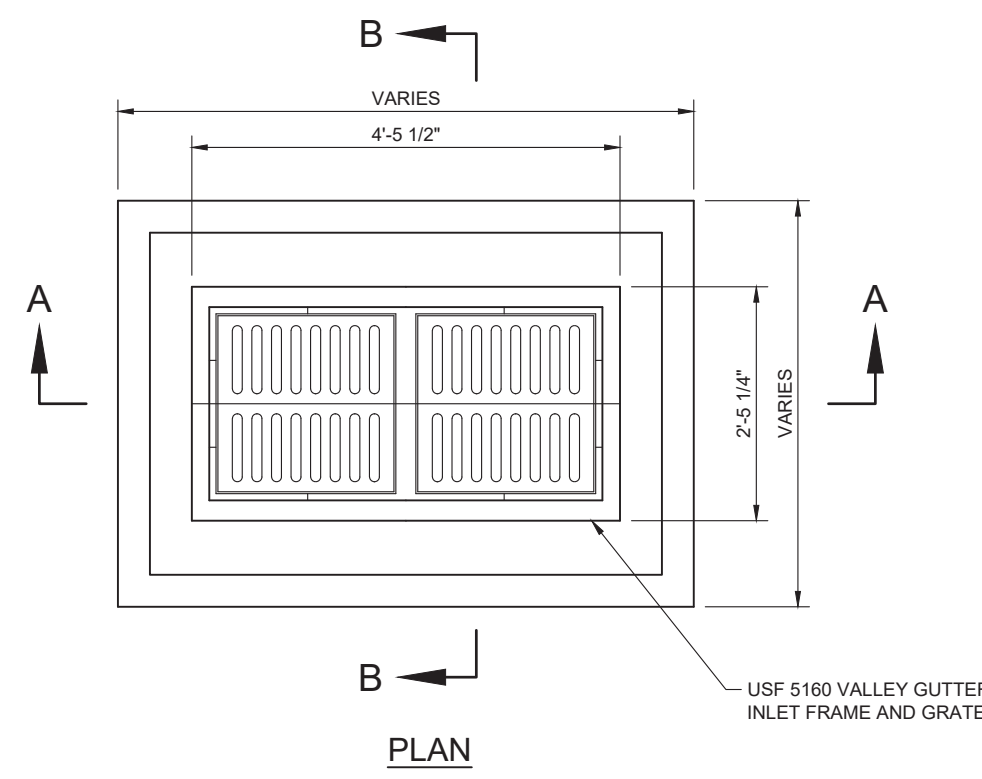
JEREMY H. ARNOLD, P.E.
 FL LICENSE NO. 66421

SET NUMBER: 435-02-01

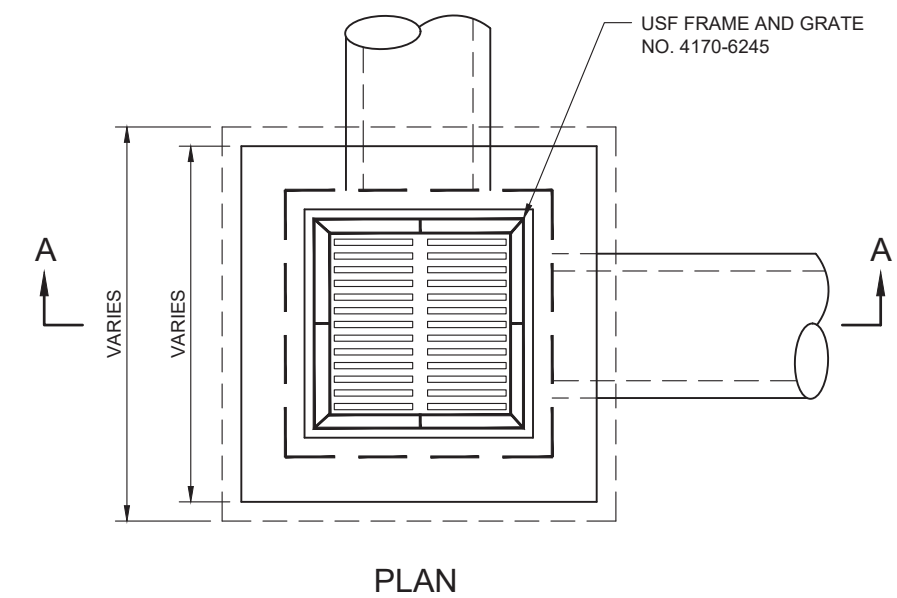
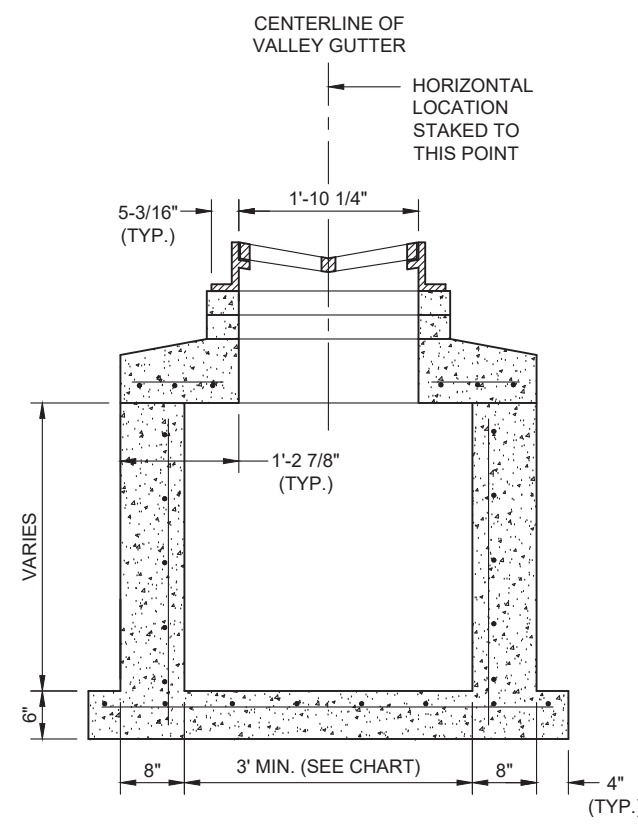
VERTICAL ELEVATIONS BASED ON: NAVD-88 SHEET: 13



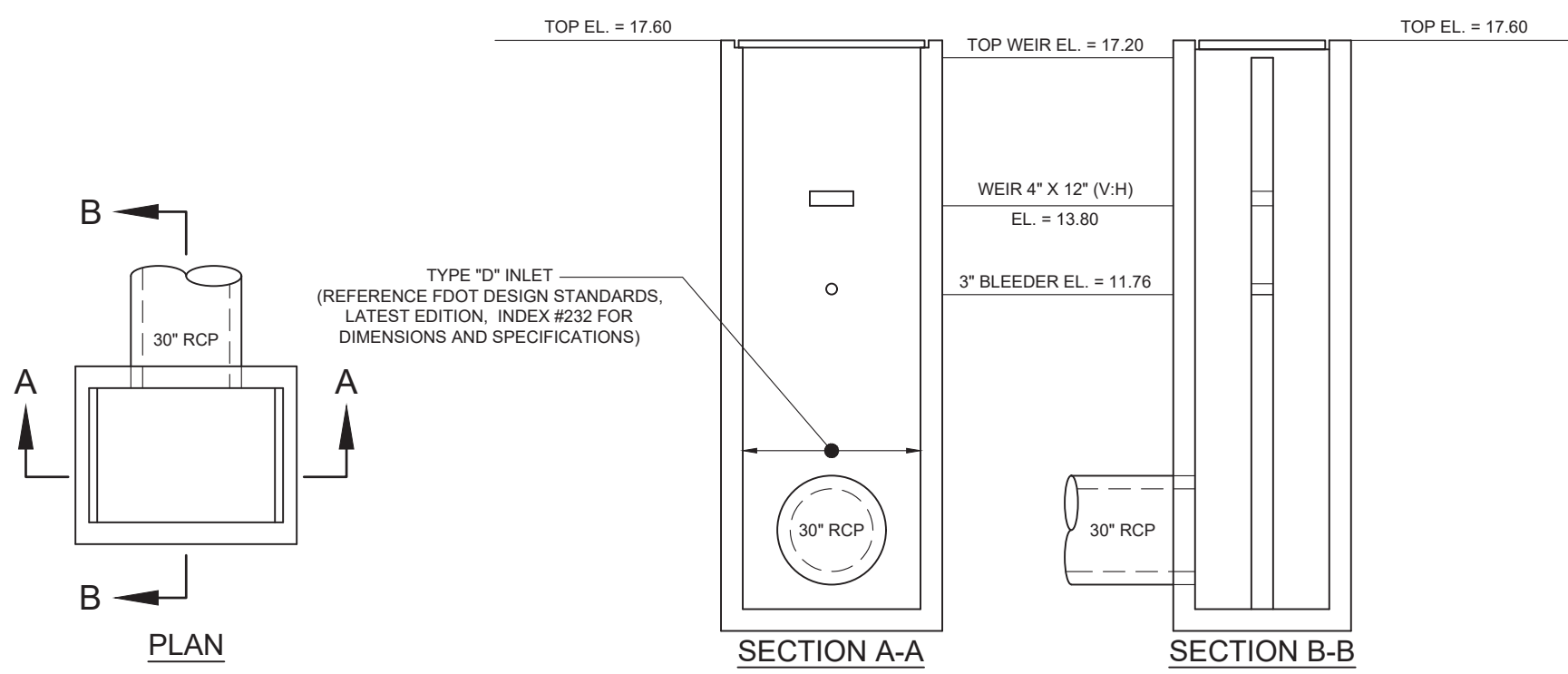
CONTROL STRUCTURE CS-2A
N.T.S.



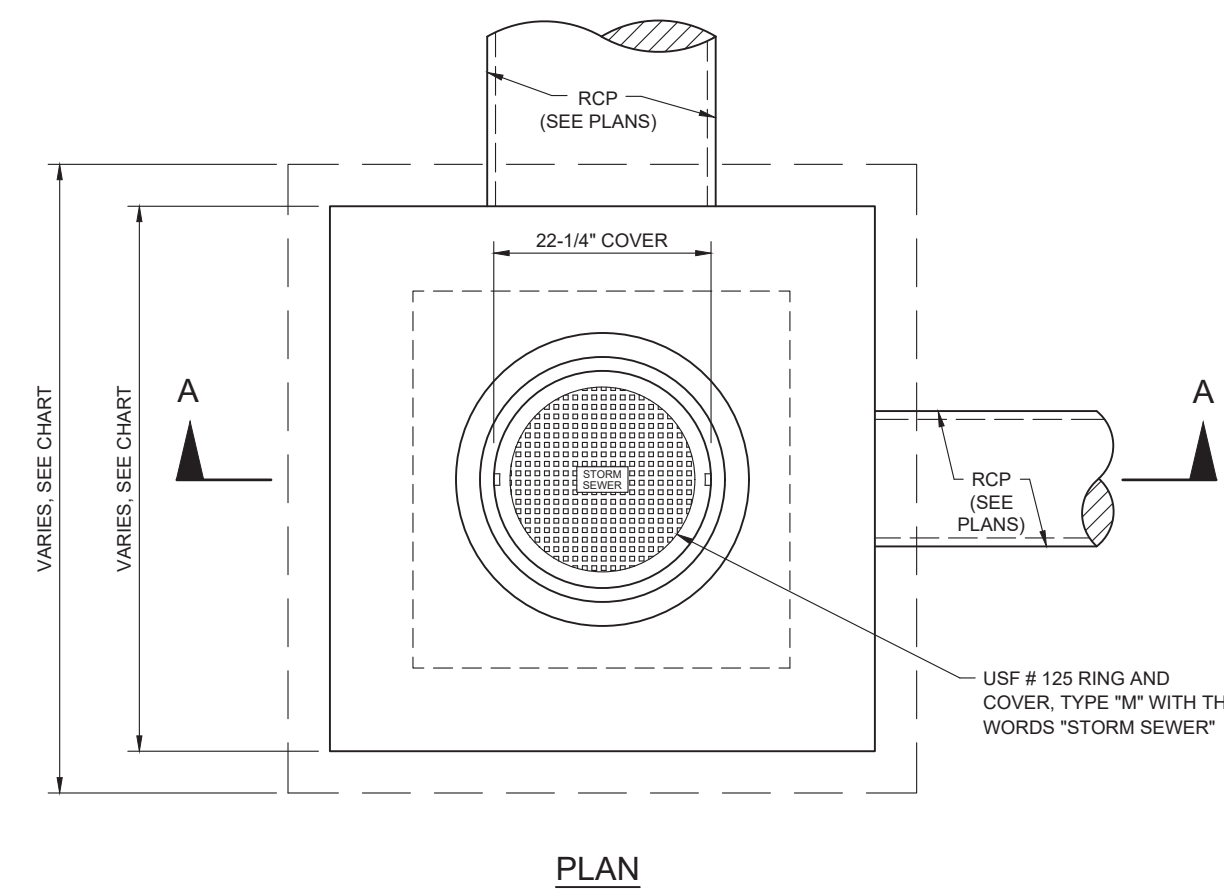
TYPICAL VALLEY GUTTER INLET DETAIL
N.T.S.



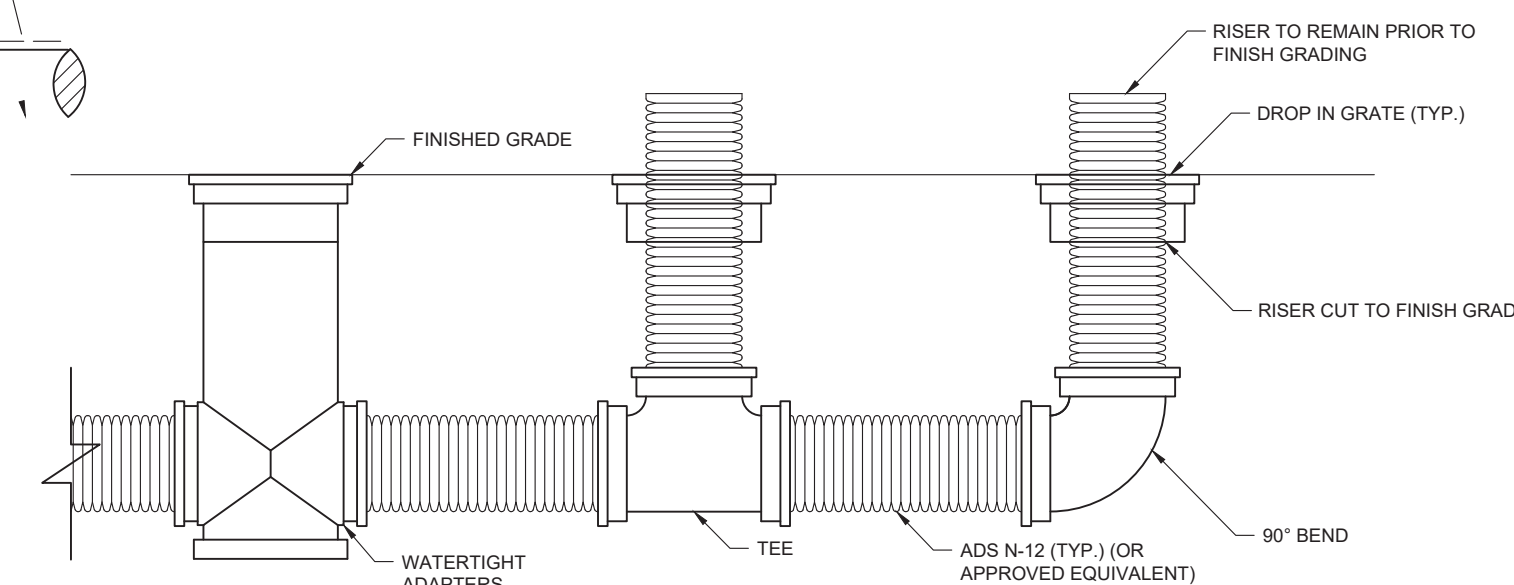
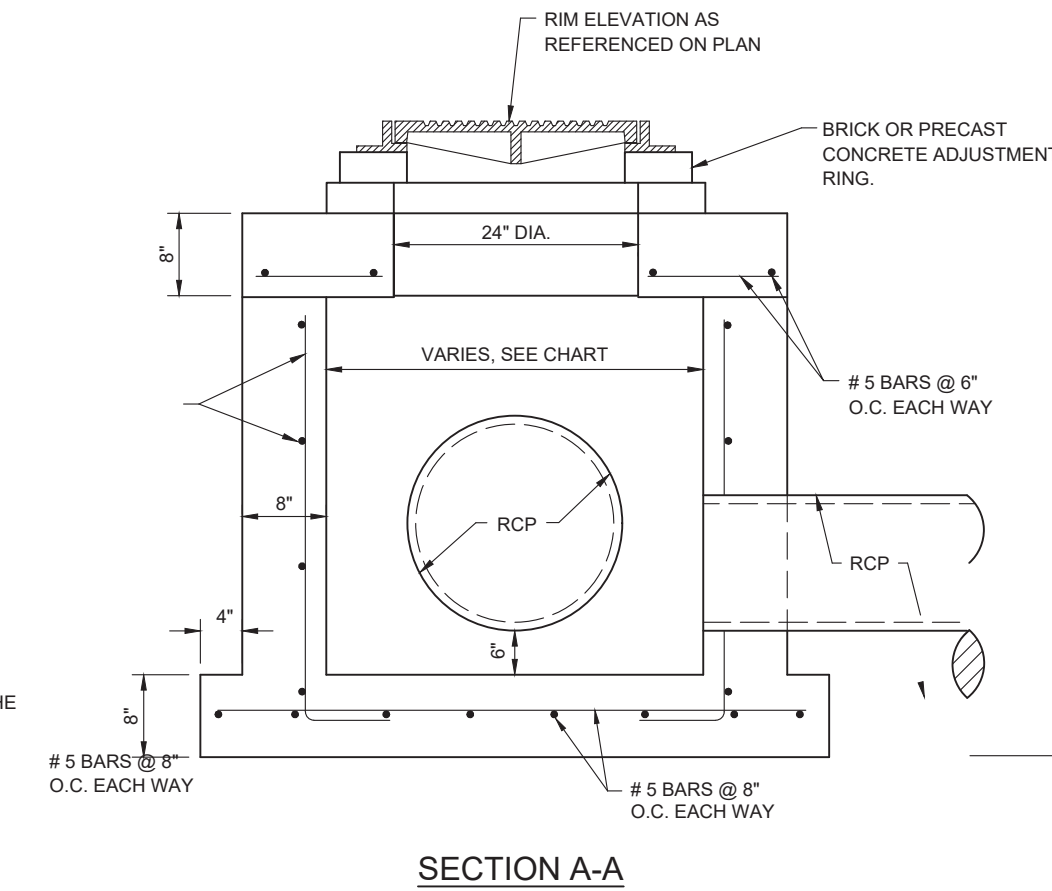
GRATE INLET
N.T.S.



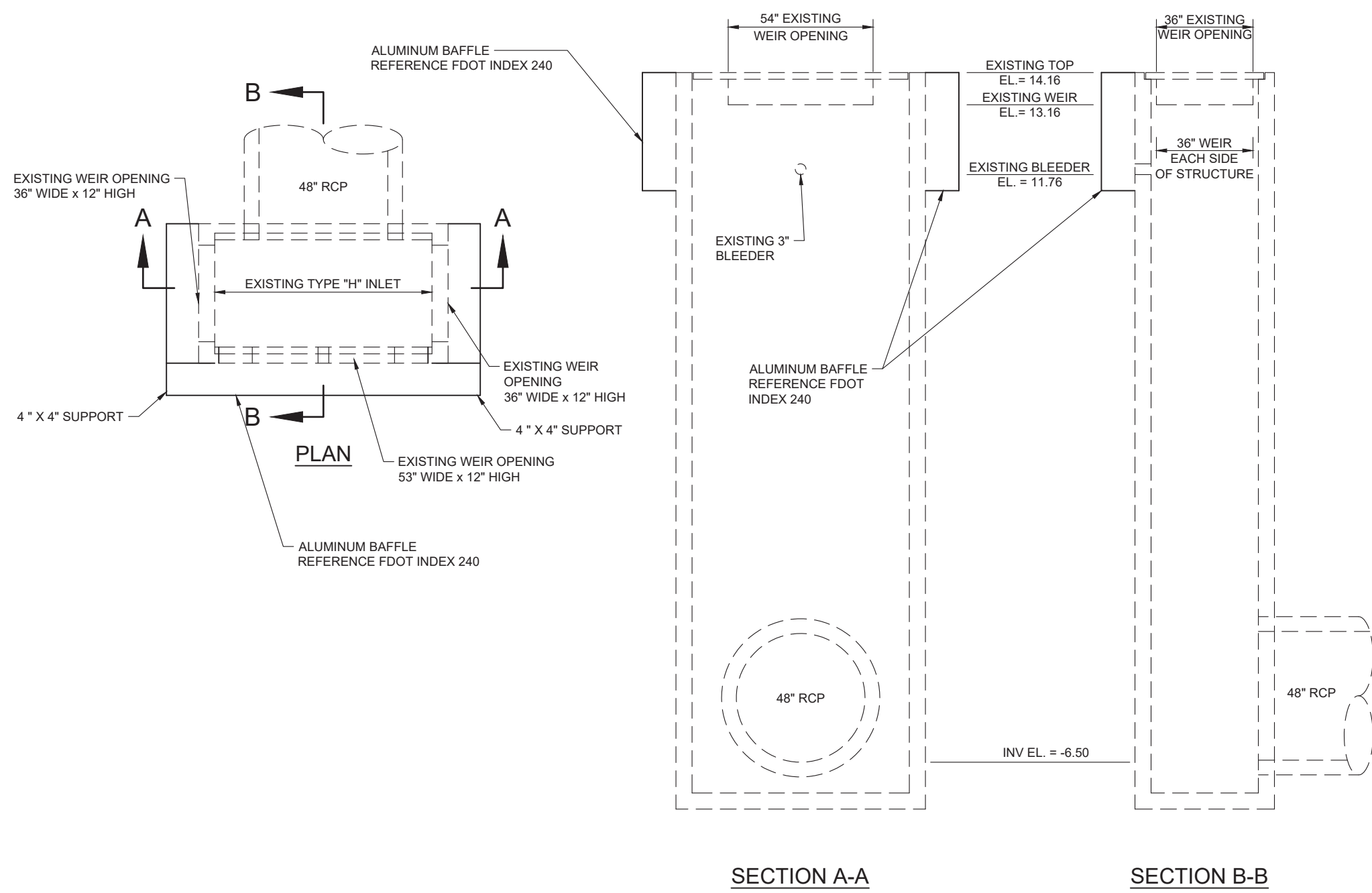
CONTROL STRUCTURE CS-2B
N.T.S.



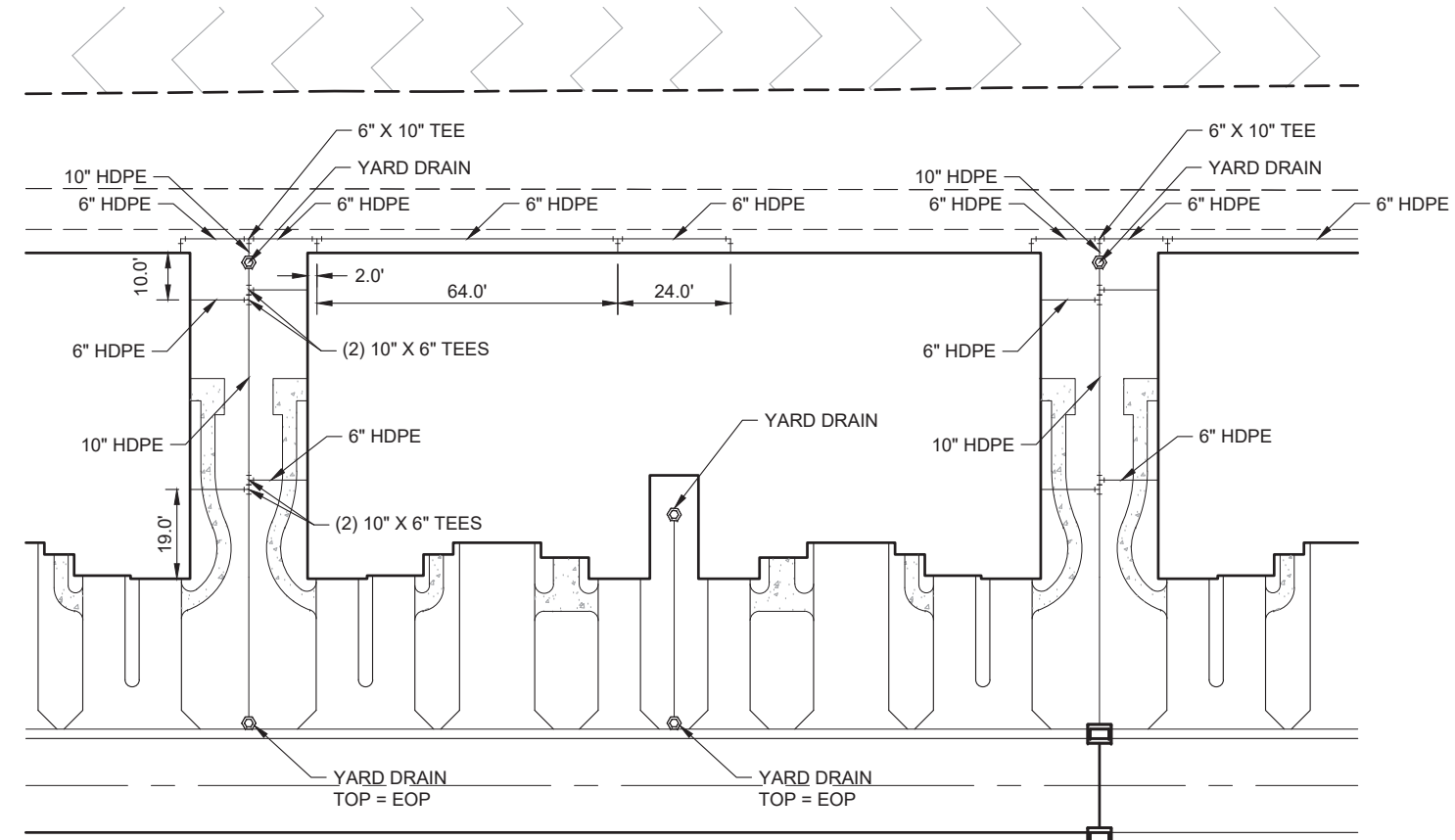
JUNCTION BOX DETAIL
N.T.S.



YARD DRAIN DETAIL
N.T.S.

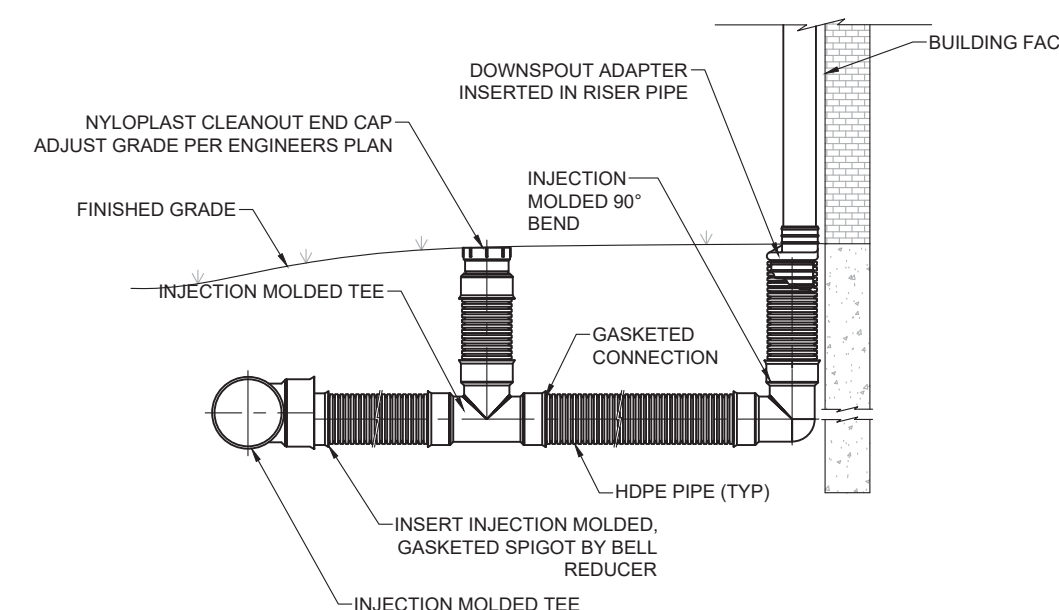


CONTROL STRUCTURE OCS-2 (EXISTING)
N.T.S.



ROOF DRAINAGE DETAIL
N.T.S.

- NOTES:
1. ALL MULTI-FAMILY BUILDINGS SHALL BE GUTTERED AND PROVIDE DOWNSPOUT CONNECTIONS TO SECONDARY DRAINAGE (SEE ADS ROOF DRAIN W/ TEE CLEANOUT DETAIL).
 2. SECONDARY DRAINAGE TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
 3. SECONDARY DRAINAGE SYSTEM TO BE INSTALLED BY THE HOME BUILDERS AT THE TIME OF VERTICAL CONSTRUCTION.
 4. ALL SECONDARY DRAINAGE SHALL BE ADS N-12 ST OR EQUIVALENT.



ADS ROOF DRAIN W/ TEE CLEANOUT
N.T.S.

DRAINAGE STRUCTURE TABLE		
TYPE OF STRUCTURE	REFERENCE	CASTING
TYPE 9 CURB INLET W/ TYPE J OR P BOTTOM	FDOT INDEX 200, 211	
CURB INLET TOP - TYPE 9 MODIFIED W/ TYPE J OR P BOTTOM	FDOT INDEX 200, 214	USF 5130-6188 OR APPROVED EQUAL
FLARED END**	FDOT INDEX 270	NONE
GRATE INLET	SEE DETAIL	USF 4170 - 6245 OR APPROVED EQUAL
JUNCTION BOX	SEE DETAIL	USF 125
VALLEY GUTTER INLET *	SEE DETAIL	USF 5106-6149 OR APPROVED EQUAL

* MULTIPLE CASTING SHALL BE USED WHERE SHOWN.
** PIPE LENGTH AND SLOPE SHALL BE FIELD ADJUSTED TO HAVE FLARED END MATCH FLUSH WITH LAKE BANK

- GENERAL STRUCTURE DESIGN NOTES:**
1. ALL REINFORCING STEEL SHALL HAVE A MINIMUM TWO INCHES OF COVER.
 2. ALL CONCRETE SHALL HAVE COMPRESSIVE STRENGTH OF 3,000 PSI @ 28 DAYS.
 3. WALL THICKNESS MAY BE REDUCED TO 6" IF THE STRUCTURE IS PRECAST

MINIMUM DIMENSIONS FOR DRAINAGE STRUCTURES	
PIPE SIZE	MINIMUM STRUCTURE WIDTH
15"	3.0 FT
18"	3.0 FT
24"	3.5 FT
30"	4.0 FT
36"	4.5 FT
42"	5.0 FT
48"	5.5 FT
54"	6.0 FT

PLAN REVISIONS	REV#	DATE	DESCRIPTION
	002716		REVISED PER SFPMW AND ENGINEER COMMENTS
	080716		REVISED PER SFPMW AND ENGINEER COMMENTS
	083016		REVISED PER COUNTY COMMENTS AND SFPMW

SCALE AS SHOWN

FLORIDA CERTIFICATE OF AUTHORIZATION #8636

JEREMY H. ARNOLD, P.E.
FL LICENSE NO. 66421

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VERTICAL ELEVATIONS BASED ON: NAVD-88 SHEET: 14

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DRAINAGE DETAILS

